



06 September 2023

ADDENDUM #04

PROJECT: Perryville Branch Library Renovation

The following items represent changes, modifications and/or clarifications to the Contract Documents for this project. This Addendum shall become a part of the Contract Documents and all Bidders shall acknowledge its inclusion in their bid.

This Addendum consists of the following:

- 3 Typed pages (Addendum revisions)
- 4 Drawing Sheets: A001, AD101, A433, ED101 (Addendum revisions)
- 1 Specification Section: 084113 – Aluminum-Framed Entrances and Storefronts.

Responses to Bidder Questions:

1. **Question:** Provide the existing concrete slab thickness and new concrete strength required for patching the new trenching and where the floor box infill is to occur.

Answer: Reference detail 2/AD101 on attached revised AD101.

2. **Question:** General Note 3 on Sheet E201 states “Existing Lighting Circuit Breakers in Panel LP1” and LP1 appears to be new on sheet E401. Please Clarify.

Answer: LP1 is an existing panel, not new. It is an error on the panel schedule that it is not marked EX like the other panels. It is, however, labeled as an existing panel on ED101 and E201.

3. **Question:** Section 1.10 Guarantee on Sheet E501, Item C, calls for a Two (2) Year Warranty/Guarantee period with manufacturer's recommended maintenance is required for the Electrical. Please confirm if this requirement is for Electrical and Low-Voltage.

Answer: The Two-Year Warranty/Guarantee period applies to both Electrical and Low Voltage.

4. **Question:** Is the low voltage data contractor responsible for installing the owner furnished cameras and mounts? If so, can you provide further details on the camera models?

Answer: All cameras and mounts will be installed by the Owner's vendor.

5. **Question:** Is the EC responsible for all conduit, raceways, trays, etc? Excluding J-hooks and closet tray.

Answer: EC will be required to install all conduits and backboxes with pullstrings. TC will be required to install all necessary J-hooks required for above acoustical ceilings. No cable tray is called for in design.

6. **Question:** Drawing E001 mentions installing jumper cables. Would we be installing a patch cord for every patch panel port and connecting to any available owner provided and installed switch port?

Answer: Yes. Contractor will be required to provide patch cords between the existing patch panels and existing network switches. Contractor shall coordinate with Owner on exact patch panels and switch ports to be utilized.

7. **Question:** Please confirm the existing data closet and rack location.

Answer: The existing data rack is in Server Room 126.

8. **Question:** Is there a Division 27 Spec?

06 September 2023

Answer: There is no written Division 27 Spec. The extent of the Division 27 Specifications is indicated on the Drawings. Refer to 3.1 and 4.2 on E501. Raceway specifications are the same as Electrical.

9. **Question:** Is there a preferred manufacturer for the data cabling, jacks, patch panels, etc?

Answer: No.

10. **Question:** Is the low voltage data cabling in the GC's contract? (Div 27)

Answer: Yes.

11. **Question:** Is there sufficient space for all new cabling, panels, managers in the existing rack?

Answer: Yes - once existing cable to be demolished is removed.

12. **Question:** Is there wireless access point cabling? If so, please provide details.

Answer: No. There will be no additional wireless access points added as part of this project.

13. **Question:** On Drawing ED101 several of the floor boxes have note #13 indicated. There is not a description of Note #13.

Answer: Replace Keynote 13 with Keynote 10. Revised ED101 attached.

14. **Question:** Door schedule notes state to match existing hardware for the storefront doors. Is existing door hardware known so that it can be matched correctly? From the site visit it looks like each existing storefront door has slightly different hardware installed. Please clarify.

Answer: The client has requested that the new hardware match the existing hardware at the Quiet Room, which is Yale 5400LN, Lever Design Pacific Beach PB.

15. **Question:** Storefront specifications call for both an organic finish and a clear anodized finish. Which is correct.

Answer: The finish of the new storefront shall match existing. Refer to revised specification attached.

Changes to Drawings:

1. **Sheet A001 – Legends, Symbols, Abbreviations, Door & Partition Types**

REVISE: Door schedule to note that door 120A is Type "N" and hardware notes have been revised for door 120A & 132A. Door E2's frame type & frame material are existing.

2. **Sheet AD101 – Demolition Plan**

REVISE: General Demo Note 7 to include "Refer to detail 2/AD101".

ADD: Detail 2/AD101.

3. **Sheet A433 – Enlarged Plans and Elevations**

REVISE: Elevation 2/A433 and 4/A433 to add horizontal mullion at 8'-0" to IGP-1 storefront units.

4. **Sheet ED101 – Level 1 Plan Electrical Demolition**

REVISE: Remove Keynote Tag 13 and replace with Keynote Tag 10.



06 September 2023

Changes to Specifications:

Section 084113 – Aluminum-Framed Entrances and Storefronts: Revise the following paragraph:

2.7 ALUMINUM FINISHES

1. Finish: Kawneer coating in color and finish to match existing storefront frames.

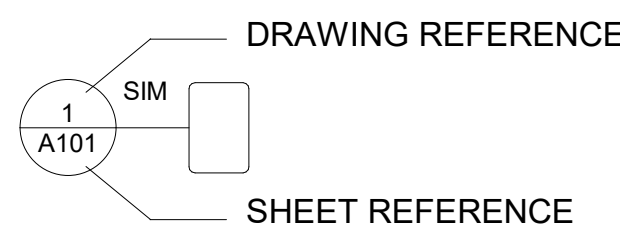
END OF ADDENDUM 04

ABBREVIATIONS

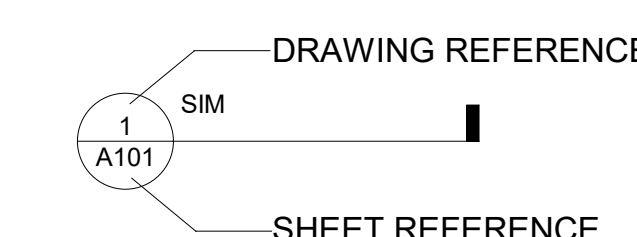
- A/C AIR CONDITIONING
- A/E ARCHITECT / ENGINEER
- ABV ABOVE
- ACCESS ACCESSIBLE
- ACP ACOUSTICAL CEILING PANEL
- ACST ACOUSTIC
- AD AREA DRAIN
- ADA AMERICANS WITH DISABILITIES ACT
- ADD'L ADDITIONAL
- ADJ ADJACENT/ADJUST
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- AGG AGGREGATE
- ALT ALTERNATE
- ALUM ALUMINIUM
- APPROX APPROXIMATE(LY)
- ARCH ARCHITECT(URAL, URE)
- ASPH ASPHALT(IC)
- ASSOC ASSOCIATED
- AUTO AUTOMATIC
- AVG AVERAGE
- AWP ACOUSTICAL WALL PANEL
- BBT BIO-BASED TILE
- BC BRICK COURSE
- BD BOARD
- BIT BITUMINOUS, BITUMEN
- BLDG BUILDING
- BLKG BLOCKING
- BLKHD BULKHEAD
- BLW BELOW
- BM BEAM
- BOS BOTTOM OF STEEL
- BOT BOTTOM
- BR BRASS OR BRONZE
- BRG BEARING
- BTWN BETWEEN
- BUR BUILT-UP ROOF
- C-C CENTER TO CENTER
- CAB CABINET
- CEM CEMENT
- CFS COLD FORMED STEEL
- CIP CAST-IN-PLACE
- CJ CONTROL JOINT
- CL CENTER LINE
- CLG CEILING
- CLO CLOSET
- CLR CLEAR(ANCE)
- CMU CONCRETE MASONRY UNIT
- COL COLUMN
- COM COMMUNICATIONS
- CONC CONCRETE
- COND CONDITION
- CONF(S) CONFIGURATION(S)
- CONST CONSTRUCTION
- CONT CONTINUOUS
- COORD COORDINATE
- CORR CORRIDOR
- CPT CARPET(ED)
- CT CERAMIC TILE
- CTR CENTER
- D DEEP/DEPTH
- DBL DOUBLE
- DEG DEGREE
- DEMO DEMOLISH, DEMOLITION
- DETER DETERIORATING, DETERIORATED
- DF DRINKING FOUNTAIN
- DIA DIAMETER
- DIAG DIAGONAL
- DIM(S) DIMENSION(S)
- DIV DIVIDE
- DN DOWN
- DR DOOR, DRAIN
- DS DOWNSPOUT
- DTL DETAIL
- DWG(S) DRAWING(S)
- DWR DRAWER
- E EAST
- E-P EPOXY PAINT
- EA EACH
- EJ EXPANSION JOINT
- EL ELEVATION (TOPO)
- ELEC ELECTRICAL
- ELEV ELEVATION (ARCH), ELEVATOR
- EMER EMERGENCY
- ENCL ENCLOS(E,URE)
- ENGR ENGINEER
- ENTR ENTRANCE
- EOS EDGE OF SLAB
- EPDM ETHYLENE PROPYLENE DIENE MONOMER
- EPS EXPANDED POLYSTYRENE BOARD
- EQ EQUAL
- EQUIP EQUIPMENT
- EST ESTIMATE(D)
- EW EACH WAY
- EWEC ELECTRIC WATER COOLER
- EXH EXHAUST
- EXHB EXHIBIT
- EXP EXPOSED, EXPANSION
- EXT EXTERIOR
- EXTG EXISTING
- FA FIRE ALARM
- FAS FASTENER
- FD FLOOR DRAIN
- FDC FIRE DEPARTMENT CONNECTION
- FDTN FOUNDATION
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
- FF FINISH(ED) FACE
- FF&E FURNITURE, FIXTURES & EQUIPMENT
- FH FIRE HOSE, FIRE HYDRANT
- FHC FIRE HOSE CABINET
- FIN(S) FINISH(ES)
- FIXT FIXTURE
- FL FLOOR(ING)
- FLAM FLAMMABLE
- FLUOR FLUORESCENT
- FO FINISHED OPENING
- FOS FACE OF STUDS
- FP FIRE PROTECTION
- FR FRAME(D,ING), FIRE RATING, FIRE RESISTANT
- FT FEET
- FTG FOOTING
- FUR FURR(ED,ING)
- FWC FABRIC WALL COVERING
- G NATURAL GAS
- GA GAUGE
- GALV GALVANIZED
- GB GRAB BAR
- GC GENERAL CONTRACT(OR)
- GEN GENERATOR
- GF GLASS FILM
- GFRG GLASS-FIBER-REINFORCED CONCRETE
- GFRG GLASS-FIBER-REINFORCED GYPSUM
- GFRP GLASS-FIBER-REINFORCED POLYESTER, GLASS-FIBER-REINFORCED PLASTIC
- GL GLASS, GLAZING
- GLU LAM GLUE LAMINATED WOOD
- GOVT GOVERNMENT
- GT GROUT
- GWB GYPSUM WALLBOARD
- H HIGH
- HAZ MAT HAZARDOUS MATERIAL
- HB HOSE BIBB
- HC HOLLOW CORE, HOSE CABINET
- HCWD HOLLOW CORE WOOD DOOR
- HD HEAVY DUTY
- HDR HEADER
- HDW HARDWARE
- HDWD HARDWOOD
- HID HIGH INTENSITY DISCHARGE
- HM HOLLOW METAL
- HORIZ HORIZONTAL(LY)
- HP HIGH POINT
- HSS HOLLOW STRUCTURAL SECTION
- HT HEIGHT(S)
- HT HEIGHT
- HVAC HEATING, VENTILATION & AIR CONDITIONING
- HW HOT WATER
- ID INSIDE DIAMETER
- ILO IN LIEU OF
- IN INCH(ES)
- INCAN INCANDESCENT
- INCL INCLUDE(S,D,ING)
- INFO INFORMATION
- INSUL INSULATION, INSULATED
- INT INTERIOR
- INV INVERT
- IRMA INVERTED ROOF MEMBRANE ASSEMBLY
- J-BOX JUNCTION BOX
- JAN JANITOR
- JT(S) JOINT(S)
- KIT KITCHEN
- KO KNOCK OUT
- L ANGLE
- LAM LAMINATE(D)
- LAV LAVATORY
- LBL LABEL
- LGMP LIGHT GAUGE METAL POST
- LH LEFT HAND
- LHR LEFTHAND REVERSE
- LL LIVE LOAD
- LLH LONG LEG HORIZONTAL
- LLV LONG LEG VERTICAL
- LP LOW POINT
- LTG LIGHTING
- LV LOW VOLTAGE
- LVT LUXURY VINYL TILE
- LW LIGHT WEIGHT
- S SOUTH, SEAL
- SAB SOUND ATTENUATION BATT
- LP LOW POINT
- LTG LIGHTING
- LV LOW VOLTAGE
- LVT LUXURY VINYL TILE
- LW LIGHT WEIGHT
- S SOUTH, SEAL
- SAB SOUND ATTENUATION BATT
- SALV SALVAGE
- SAN SANITARY
- SB SPLASH BLOCK
- SC SOLID CORE
- SCHED SCHEDULE
- SCT STRUCTURAL CLAY TILE
- SCWD SOLID CORE WOOD DOOR
- MAS MASONRY
- MATL MATERIAL(S)
- MAX MAXIMUM
- MDO MEDIUM DENSITY OVERLAY
- MECH MECHANICAL
- MED MEDIUM
- MEMB MEMBRANE
- MFR MANUFACTURE(R)
- MIN MINIMUM
- MISC MISCELLANEOUS
- MO MASONRY OPENING
- MOD BIT MODIFIED BITUMEN
- MR MLUSTURE RESISTANT
- MTD MOUNTED
- MTG MOUNTING
- MTL METAL
- N NORTH
- NA NOT APPLICABLE
- NAT NATURAL
- NC NOISE CRITERIA, NORMALLY CLOSED
- NIC NOT IN CONTRACT, NOISE ISOLATION CLASS
- NO(S) NUMBER(S), NORMALLY OPEN
- NOM NOMINAL
- NRC NOISE REDUCTION COEFFICIENT
- NTS NOT TO SCALE
- O-O OUT TO OUT
- OC ON CENTER
- OD OUTSIDE DIAMETER
- OF/CI OWNER FURNISHED / CONTRACTOR INSTALLED
- OFC OFFICE
- OH OPPOSITE HAND, OVERHEAD
- OPNG OPENING(S)
- ORIG ORIGINAL
- PA PUBLIC ADDRESS
- PAR PARALLEL
- PART PARTITION(S), PARTIAL
- PC PRECAST
- PERF PERFORATE(D)
- PL PLATE, PROPERTY LINE
- PLAM PLASTIC LAMINATE
- PLAS PLASTER
- PLWD PLYWOOD
- PNL PANEL(ED)
- POL POLISHED
- POLY POLYETHYLENE
- PR PAIR
- PREP PREPARE (SURFACE)
- PROV PROVIDE(D)
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PT PAINT, POST-TENSIONED, PRESSURE TREATED
- PTD PAINTED
- PVC POLYVINYL CHLORIDE
- PVMT PAVEMENT
- PWR POWER
- QT QUARRY TILE
- QTY QUANTITY
- QUAD QUADRANT
- QZ QUARTZ
- QZT QUARTZ TILE
- R RADIUS, RISER, THERMAL RESISTANCE
- RB RUBBER BASE
- RBR RUBBER
- RCP REFLECTED CEILING PLAN
- RD ROOF DRAIN
- REBAR REINFORCING BAR
- REF REFERENCE
- REG REGISTER, REGULATION
- REINF REINFORCED
- REPL REPLACE
- REQ REQUIRED
- RES RESILIENT
- RET RETAINING, RETURN
- REV REVISION(S) / REVISE(D)
- RFG ROOFING
- RFG ROOFING
- RH RIGHT HAND, RELATIVE HUMIDITY
- RHR RIGHT HAND REVERSE
- RL RAIN LEADER
- RM ROOM
- RO ROUGH OPENING
- RS RESILIENT SHEET
- RTF RUBBER TILE FLOOR
- RTU ROOF TOP UNIT
- RV ROOF VENTILATOR
- S SOUTH, SEAL
- SAB SOUND ATTENUATION BATT
- SALV SALVAGE
- SAN SANITARY
- SB SPLASH BLOCK
- SC SOLID CORE
- SCHED SCHEDULE
- SCT STRUCTURAL CLAY TILE
- SCWD SOLID CORE WOOD DOOR
- SEC SECURE, SECURITY
- SECT SECTION
- SF SQUARE FEET
- SHT SHEET
- SIM SIMILAR
- SLD SEALED
- SLL SOUND / LIGHT LOCK
- SPEC SPECIFICATION
- SQ SQUARE
- SS STAINLESS STEEL
- SSM SOLID SURFACE MATERIAL
- ST STONE
- STD STANDARD
- STL STEEL
- STN STAIN
- STO STORAGE
- STRUC STRUCTURAL
- SUB SUBSTITUTION
- SUSP SUSPENDED
- SYS SYSTEM
- T THICK, TREAD, TOILET
- T&G TONGUE AND GROOVE
- T.O. TOP OF
- TBB TILE BACKER BOARD
- TECH TECHNOLOGY
- TEL TELEPHONE
- TEMP TEMPORARY, TEMPERED
- THRS THRESHOLD
- THRU THROUGH
- TOC TOP OF CONCRETE
- TOF TOP OF FOOTING
- TOJ TOP OF JOIST
- TOM TOP OF MASONRY
- TOP TOP OF PARAPET
- TOS TOP OF STEEL
- TOW TOP OF WALL
- TRANS TRANSPARENT
- TRZ TERRAZZO
- TV TELEVISION
- TYP TYPICAL
- UC UNDERCUT
- UH UNIT HEATER
- UIO UNLESS INDICATED OTHERWISE
- UL UNDERWRITER'S LABORATORY
- UNFIN UNFINISHED
- UR URINAL
- VAR VARIES
- VAT VINYL ASBESTOS TILE
- VB VINYL BASE
- VCT VINYL COMPOSITION TILE
- VERT VERTICAL
- VEST VESTIBULE
- VIF VERIFY IN FIELD
- VTR VENT THRUOUG ROOF
- VU VENTILATION UNIT
- VWC VINYL WALLCOVERING
- W WEST, WIDE, WIDE FLANGE
- W-W WALL TO WALL
- W/ WITH
- W/O WITHOUT
- WC WATER CLOSET
- WD WOOD
- WDW WINDOW
- WH WALL HEATER
- WP WATERPROOFING, WORK POINT
- WT WEIGHT
- WWF WELDED WIRE FABRIC
- WWW WELDED WIRE MESH
- X BRACE CROSS BRACING
- XFER TRANSFER
- YD YARD, YARD DRAIN
- # NUMBER, POUND & AND
- @ AT
- ± PLUS / MINUS

GRAPHIC SYMBOLS

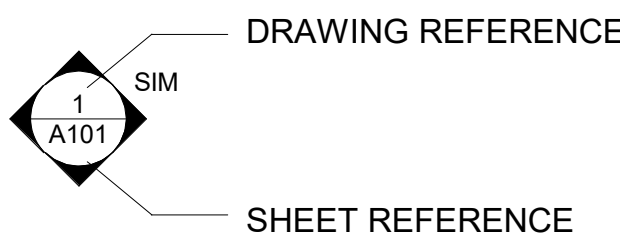
DETAIL / PLAN



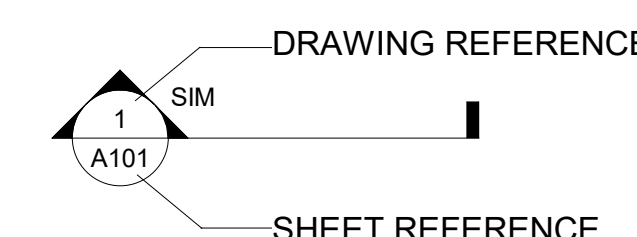
DETAIL CUT



INTERIOR ELEVATION



WALL SECTION CUT



MATERIAL SYMBOLS

- CONCRETE-PLAN
- CONCRETE-SECTION
- CMU
- GROUT
- STONE
- STEEL
- ALUMINUM
- DIMENSIONAL LUMBER (SIZE AS INDICATED)
- BLOCKING
- WOOD
- PLYWOOD
- PARTICLE BOARD
- BATT INSULATION
- GLASS
- PLASTIC
- SHIM
- SEALANT & BACKER ROD (SIZE AS INDICATED)
- GYPSUM BOARD / PLASTER
- METAL STUD
- METAL TRACK
- ACOUSTICAL CEILING
- CARPET

SYMBOLS

- Room name: ROOM NUMBER FINISH TYPE
- XX-XX: KEYNOTE
- XX: MATERIAL DESIGNATION (REFER TO MATERIALS SCHED.)
- XX: REVISION CLOUD AND INDICATOR
- XX: CONSTRUCTION ASSEMBLY
- A: EXISTING COLUMN LINE
- 101: DOOR NUMBER
- XX: WALL TYPES
- XX: WINDOW NUMBER
- ⊕: EXISTING ELEVATION
- ⊕: NEW ELEVATION
- ⊕: WORK POINT

GENERAL NOTES

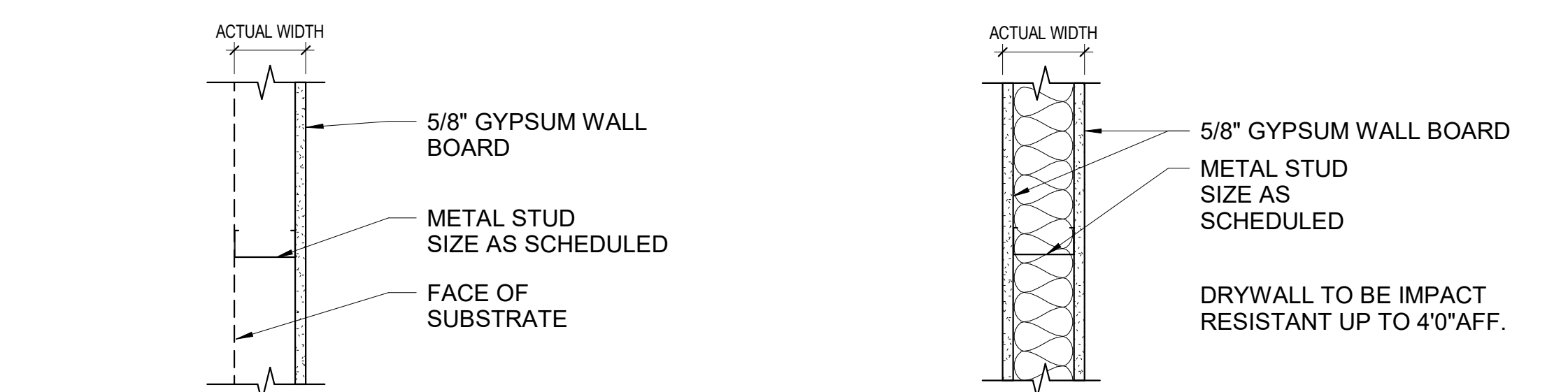
1. ALL PARTITIONS SHEATHING LAYERS TO EXTEND TO STRUCTURE OR DECK ABOVE UNLESS NOTED OTHERWISE
- A. SEE PLANS FOR LEGEND & PARTITIONS WITH VARIED EXTENT
- B. PROVIDE DEFLECTION TRACK AT BOTTOM OF STRUCTURE OR DECK ABOVE
2. PARTITION TYPES DO NOT DEPICT FINISHES TYPICALLY
- A. SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR EXTENT OF FINISHES
- B. SEE SPECIFIC PARTITION TYPES INCORPORATING FINISH AND BACKUP
3. SOUND ISOLATING FRAMED PARTITIONS (STC RATING IDENTIFIED IN SCHEDULE) ARE TO INCLUDE
- A. PERIMETER ACOUSTIC SEALANT BEAD FOR FULL DEPTH OF SHEATHING LAYER ADJACENT TO FRAMING EACH SIDE
1. BASE: SEAL BETWEEN BOTTOM OF SHEATHING TO STRUCTURAL DECK
2. TOP: SEAL BETWEEN TOP OF SHEATHING TO STRUCTURAL DECK OR RATED CEILING SHEATHING WHERE APPLICABLE
- B. FULL FRAMING DEPTH SOUND ATTENUATION BATT FOR FULL HEIGHT OF PARTITION

VISUAL DISPLAY SURFACE

- GENERAL NOTES:
1. SYMBOL # REPRESENTS LENGTH IN FEET
 2. REFER TO SPECIFICATION SECTION 1011000 VISUAL DISPLAY SURFACES
 3. COUNT REFERS TO QUANTITY IN ENTIRE PROJECT

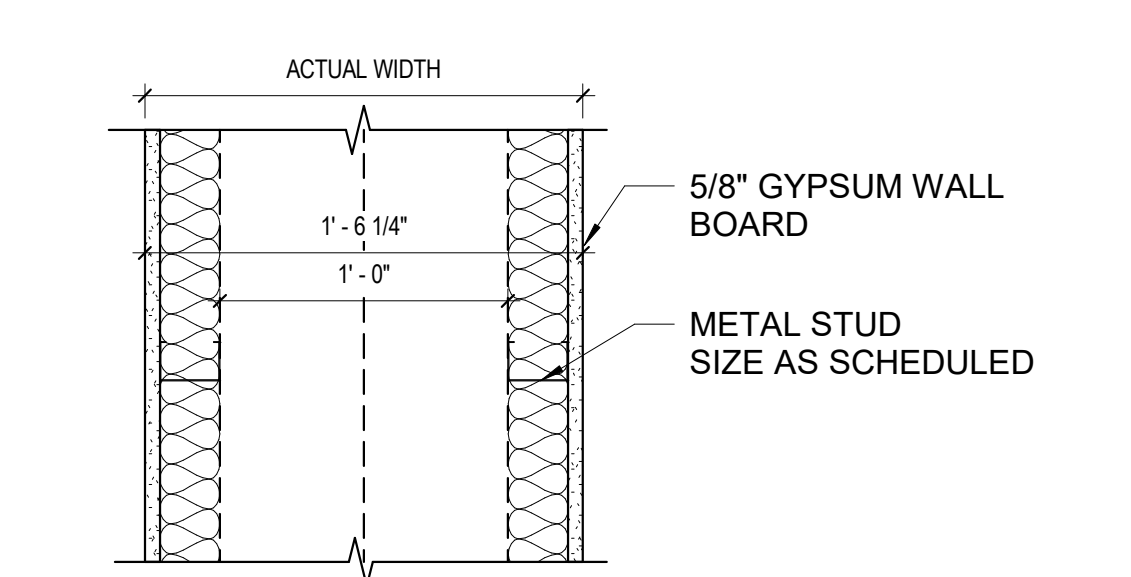
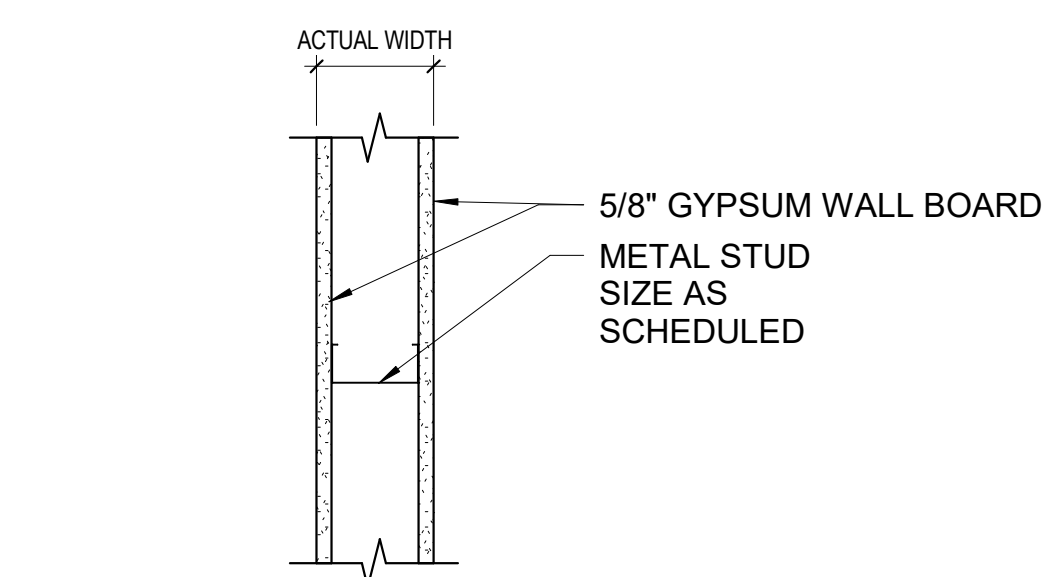
VISUAL DISPLAY SURFACE SCHEDULE				
TAG	DESCRIPTION	HEIGHT	MOUNTING HEIGHT (BOTTOM)	COUNT
MB-6	MARKER BOARD 6' WIDE	4' - 0"	3'-0" AFF	4

PARTITION TYPES



TYPE	CORE SIZE	ACTUAL WIDTH	UL FIRE TEST	STC	DETAILS	
					TOP	BOTTOM
S2A	1 5/8"	0' - 2 1/4"	NA	NA		
S4A	3 5/8"	0' - 4 1/4"	NA	NA		

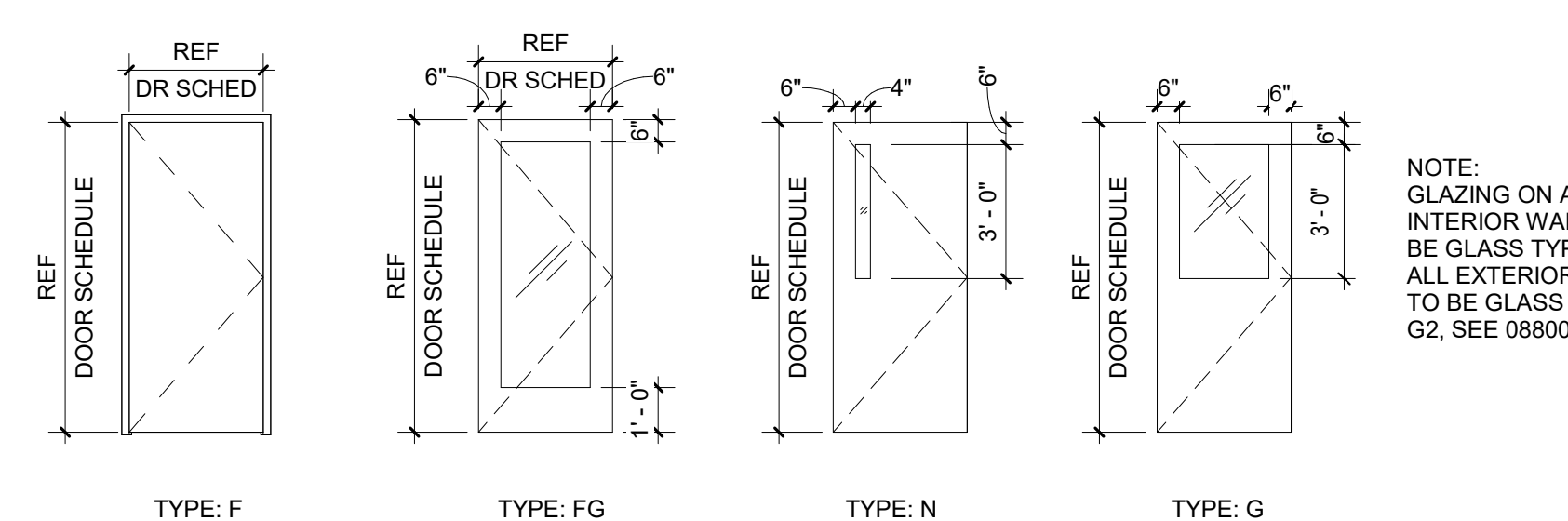
TYPE	CORE SIZE	ACTUAL WIDTH	UL FIRE TEST	STC	DETAILS	
					TOP	BOTTOM
S6	6"	0' - 7 1/4"	NA	50 MIN		



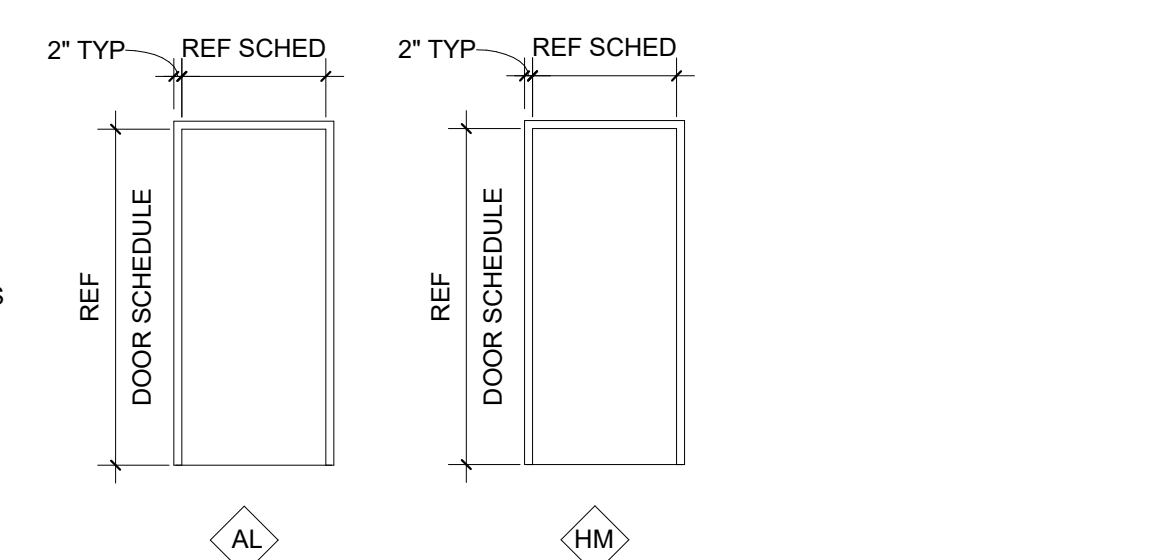
TYPE	CORE SIZE	ACTUAL WIDTH	UL FIRE TEST	STC	DETAILS	
					TOP	BOTTOM
S4C	3 5/8"	0' - 4 7/8"	NA	NA		

TYPE	CORE SIZE	ACTUAL WIDTH	UL FIRE TEST	STC	DETAILS	
					TOP	BOTTOM
S12	12"	1' - 6 1/4"				

DOOR TYPES

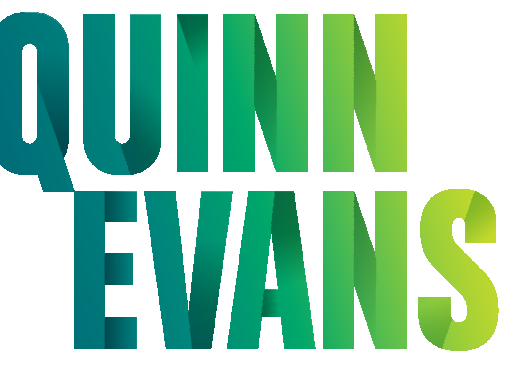


FRAME TYPES



DOOR SCHEDULE

DOOR NUMBER	LOCATION	DOOR		FRAME				HARDWARE		NOTES
		W	H	TYPE	MAT'L	TYPE	MAT'L	FINISH	HDWR SET	
Level 1										
120A	CIRCULATION WORKROOM	V.I.F. #	V.I.F. #	N	WD	AL	AL			DOOR TO BE PLACED IN EXISTING STOREFRONT FRAME - EXACT DIMENSIONS TO BE V.I.F. HDW: 3-HEAVY DUTY BALL BEARING HINGES, KICKPLATE, & LOCKSET TO MATCH OTHER WOOD DOORS IN HM FRAME CONDITIONS ELSEWHERE IN BUILDING. PROVIDE A SURFACE MNT'D CLOSER ON THE WORKROOM SIDE OF DOOR WITH INTEGRAL HOLD OPEN FUNCTION
132A	TEENS	3' - 0"	8' - 0"	FG	AL	AL	AL			HDW SUPPLIED BY THE STOREFRONT MANF. TO MATCH EXISTING. COORDINATE KEY & LOCKING FUNCTION W/ OWNER.
133A	STUDY ROOM	3' - 0"	8' - 0"	FG	AL	AL	AL			HDW SUPPLIED BY THE STOREFRONT MANF. TO MATCH EXISTING. COORDINATE KEY & LOCKING FUNCTION W/ OWNER.
134A	STUDY ROOM	3' - 0"	8' - 0"	FG	AL	AL	AL			HDW SUPPLIED BY THE STOREFRONT MANF. TO MATCH EXISTING. COORDINATE KEY & LOCKING FUNCTION W/ OWNER.
135A	STUDY ROOM	3' - 0"	8' - 0"	FG	AL	AL	AL			HDW SUPPLIED BY THE STOREFRONT MANF. TO MATCH EXISTING. COORDINATE KEY & LOCKING FUNCTION W/ OWNER.
136A	STUDY ROOM	V.I.F. #	V.I.F. #	FG	AL	AL	AL			HDW SUPPLIED BY THE STOREFRONT MANF. TO MATCH EXISTING. COORDINATE KEY & LOCKING FUNCTION W/ OWNER.
E2	CHILDREN'S COLLECTION	3' - 4"	7' - 0"	G	HM	EXTG	EXTG			HDW: RELOCATE EXISTING HARDWARE TO NEW DOOR. ADD ALTERNATE 2: INSTALL ELECTRIC ADA DOOR ACTUATOR.
Grand total: 7										



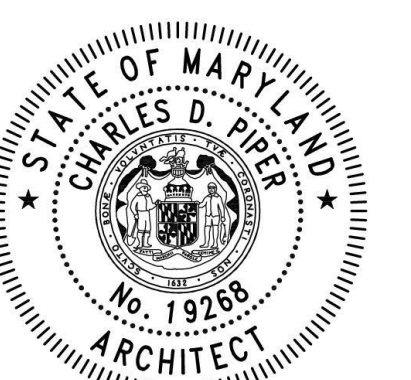
1840 WEST BROAD STREET
SUITE 400
RICHMOND, VA 23220
v 804.788.4774

QUINNEVANS.COM

PERRYVILLE BRANCH LIBRARY RENOVATION

CECIL COUNTY PUBLIC LIBRARY

500 COUDON BLVD
PERRYVILLE, MD 21903



1 9.6.23 ADDENDUM 04
No. Date Description
PROJECT MANAGER: SW DRAWN BY: AT

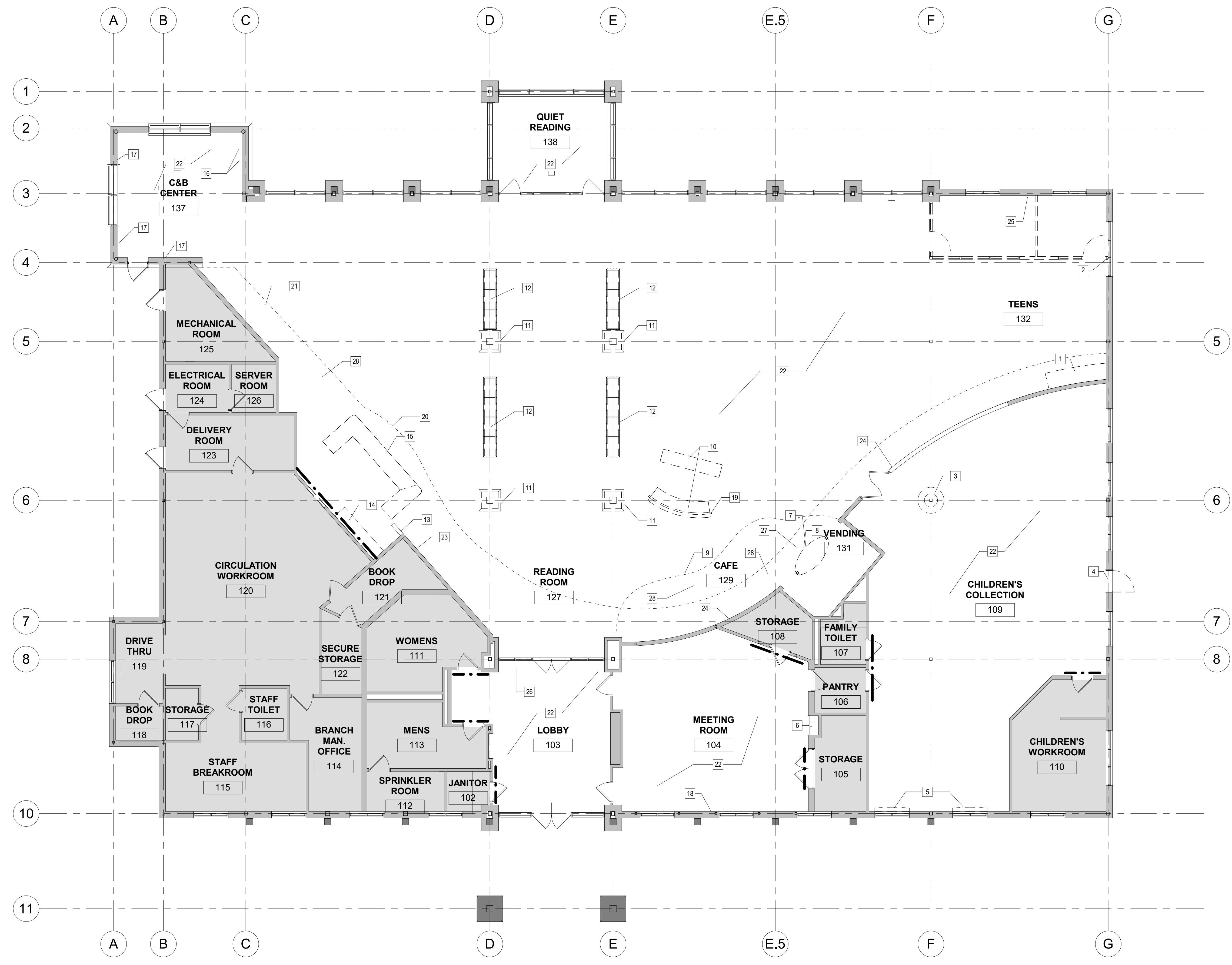
QEA No.42137020

100% CONSTRUCTION DOCUMENTS 08/01/23

LEGENDS, SYMBOLS, ABBREVIATIONS, DOOR & PARTITION TYPES

A001

- GENERAL DEMO NOTES**
- PRIOR TO THE START OF DEMOLITION ACTIVITIES, THE CONTRACTOR SHALL INSPECT THE BUILDING AND SITE TO FIELD VERIFY EXISTING CONDITIONS AND TO FULLY UNDERSTAND THE DEMOLITION SCOPE. DEMOLITION DIMENSIONS AND LOCATIONS ARE APPROXIMATE. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE DEMOLITION AND NEW WORK DRAWINGS AND EXISTING CONDITIONS BEFORE PROCEEDING.
 - ALL BUILDING ELEMENTS TO BE DEMOLISHED OR REMOVED ARE SHOWN DASHED. DEMOLITION SHALL NOT BE LIMITED TO DASHED ELEMENTS. REQUIRED DEMOLITION AND REMOVAL INCLUDES ANY EXISTING CONSTRUCTION NEEDED TO BE DEMOLISHED, REMOVED, AND/OR REPLACED TO ACCOMMODATE THE NEW WORK AS DESCRIBED IN THE DOCUMENTS.
 - REFER TO SPECIFICATIONS FOR SELECTIVE DEMOLITION AND CUTTING AND PATCHING REQUIREMENTS. COORDINATE THE LIMITS OF SUCH WITH THE NEW WORK. PREPARE EXISTING SURFACES TO REMAIN TO ACCOMMODATE NEW WORK AND/OR FINISH.
 - REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL DRAWINGS FOR NEW OPENINGS, CHASES AND/OR RACEWAYS NEEDED TO ACCOMMODATE THE NEW WORK.
 - PROVIDE TEMPORARY ENCLOSURES AS INDICATED TO ISOLATE AREAS OF THE EXISTING BUILDING NOT INCLUDED IN THE SCOPE OF THE WORK. THE LOCATIONS OF THE ENCLOSURES NOTED HEREIN ARE NOT REPRESENTATIVE OF ALL OPENINGS THAT MAY REQUIRE TEMPORARY PROTECTIVE MEASURES.
 - REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
 - REMOVAL AND REPLACEMENT OF EXISTING SLAB ON GRADE SHALL BE PROVIDED AS REQUIRED FOR THE INSTALLATION OF NEW ELECTRICAL RACEWAYS. REFER TO DETAIL 2/AD101.



KEYNOTE LEGEND - DEMO PLAN

NO.	DESCRIPTION
1	DEMO EXISTING COUNTERTOP & SUPPORTS.
2	DEMO EXISTING STUDY ROOM STOREFRONT WALL. REPAIR ADJACENT WINDOW TRIM AS REQ.
3	DEMO EXISTING CIRCULAR BOOK DISPLAY CASEWORK.
4	DEMO EXISTING DOOR & REPAIR EXISTING DOOR FRAME AS NEEDED. SALVAGE DOOR HARDWARE FOR REUSE ON NEW DOOR MOUNTED IN EXISTING FRAME.
5	DEMO EXISTING WINDOW BENCH.
6	DEMO EXISTING CABINET COUNTERTOP WITHIN NICHE AS NEEDED. REF. 2/A432.
7	DEMO EXISTING PENDANTS ABOVE VENDING BAR CASEWORK. PATCH, REPAIR, & REPAINT SOFFIT ABOVE AS REQ'D.
8	DEMO EXISTING VENDING BAR CASEWORK & PENDANTS ABOVE.
9	DEMO EXISTING QUARTZ TILE.
10	DEMO EXISTING REFERENCE/INFO DESK.
11	DEMO EXISTING TAPPED STACKED STONE BASES & KEEP STRUCTURAL COLUMN INTACT.
12	DEMO EXISTING BUILT-IN METAL BOOKCASES AND ATTACHED BOOKCASE MOUNTED LIGHTING.
13	DEMO 1/2 HEIGHT WALL.
14	DEMO CASEWORK.
15	DEMO EXISTING CIRCULATION DESK.
16	DEMO TEMPORARY GPDW WALL PATCHES & INFILL WITH NEW GVB.
17	DEMO ACOUSTIC WALL PANELS ON ALL WALLS.
18	DEMO CHAIR RAIL & TACK STRIPS - ALL WALLS.
19	DEMO INFO DESK SIGNAGE TRUSS HANGING ABOVE.
20	DEMO EXISTING "CHECKOUT" SIGNAGE MOUNTED TO SOFFIT ABOVE.
21	DEMO EXISTING "SIGHT & SOUND" SIGNAGE MOUNTED TO SOFFIT ABOVE.
22	DEMO EXISTING CARPET AND WALL BASE.
23	REMOVE EXISTING "RETURNS" AND "SELF-CHECK" SIGNAGE AND STORE FOR RE-INSTALLATION AFTER CONSTRUCTION
24	REMOVE EXISTING "CAFE" AND "CHILDREN'S" SIGNAGE AND STORE FOR RE-INSTALLATION AFTER CONSTRUCTION
25	REMOVE FRESH AIR INTAKES. PATCH & REPAIR INTERIOR AND EXTERIOR WALL AT INTAKE OPENING TO MATCH EXISTING WALL ASSEMBLY.
26	REMOVE EXISTING TV MOUNTED TO UNDERSIDE OF SOFFIT & RETURN TO OWNER.
27	DEMO EXISTING PENDANTS ABOVE VENDING BAR CASEWORK.
28	DEMO EXISTING PENDANTS ABOVE CAFE SEATING AREA.

PERRYVILLE BRANCH LIBRARY RENOVATION

CECIL COUNTY PUBLIC LIBRARY

500 COUDON BLVD
PERRYVILLE, MD 21903



DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING DOOR TO REMAIN
- ITEM / CONSTRUCTION TO BE REMOVED, SALVAGED OR REINSTALLED
- DOOR TO BE REMOVED, SALVAGED OR REINSTALLED
- TEMPORARY ENCLOSURE

1	9.6.23	ADDENDUM 04
No.	Date	Description
PROJECT MANAGER:	SW	AT
DRAWN BY:		

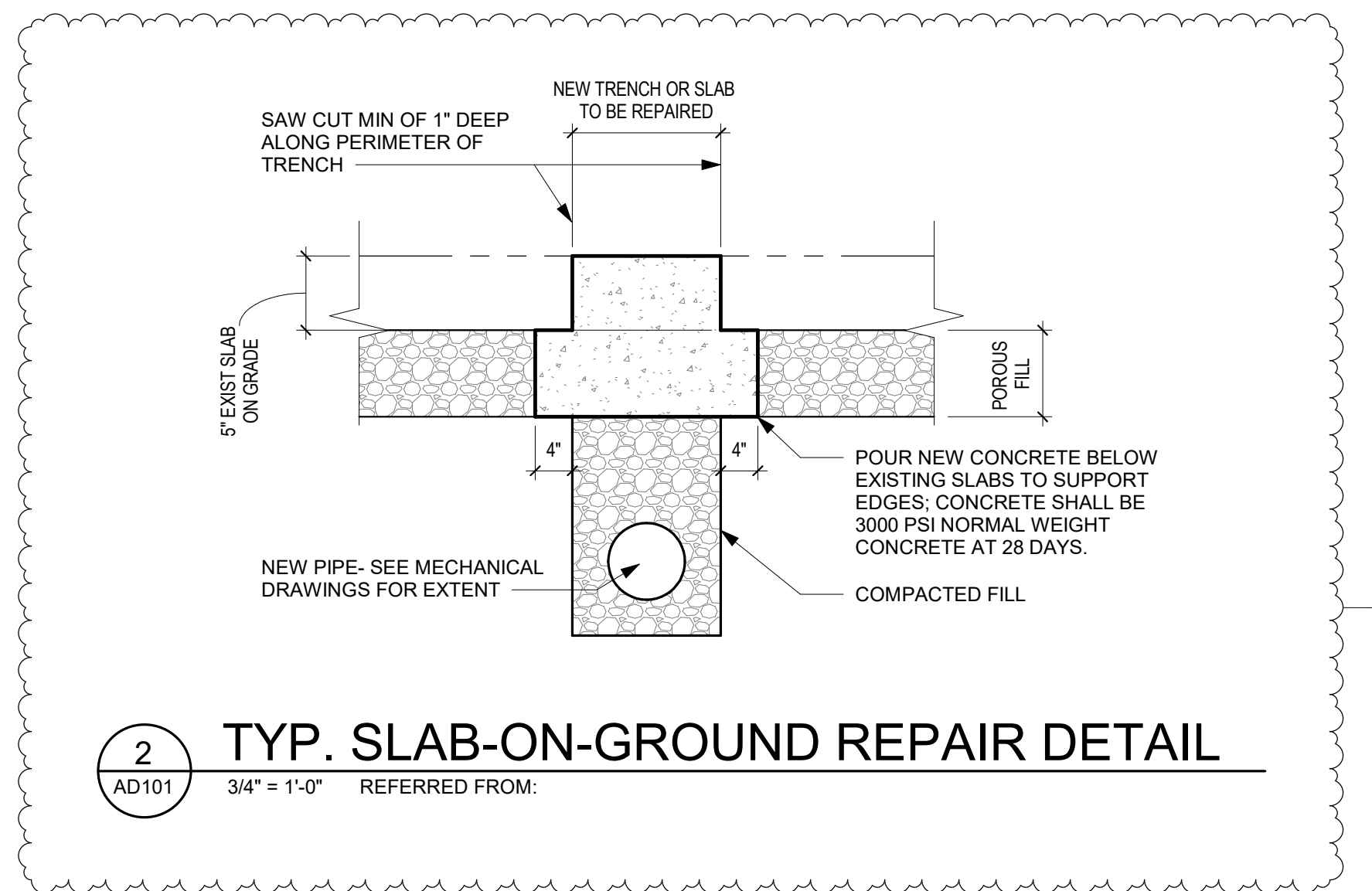
QEA No.42137020
100% CONSTRUCTION DOCUMENTS
08/01/23

DEMO FLOOR PLAN

AD101

1 DEMO PLAN

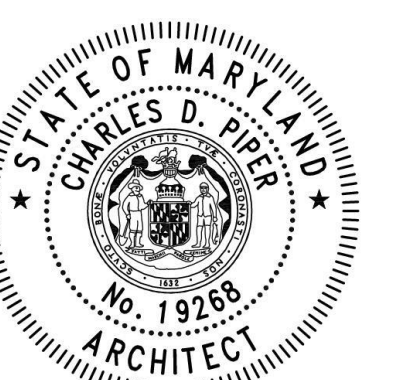
AD101 1/8" = 1'-0" REFERRED FROM:A301



2 TYP. SLAB-ON-GROUND REPAIR DETAIL

AD101 3/4" = 1'-0" REFERRED FROM:

PATH:\FILENAME: Autodesk\Drawings\Baltimore Branch Library\42137020_Perryville Branch Library_R22.dwg
 PLOTTING DATE & TIME: 09/26/23 12:46:07 PM



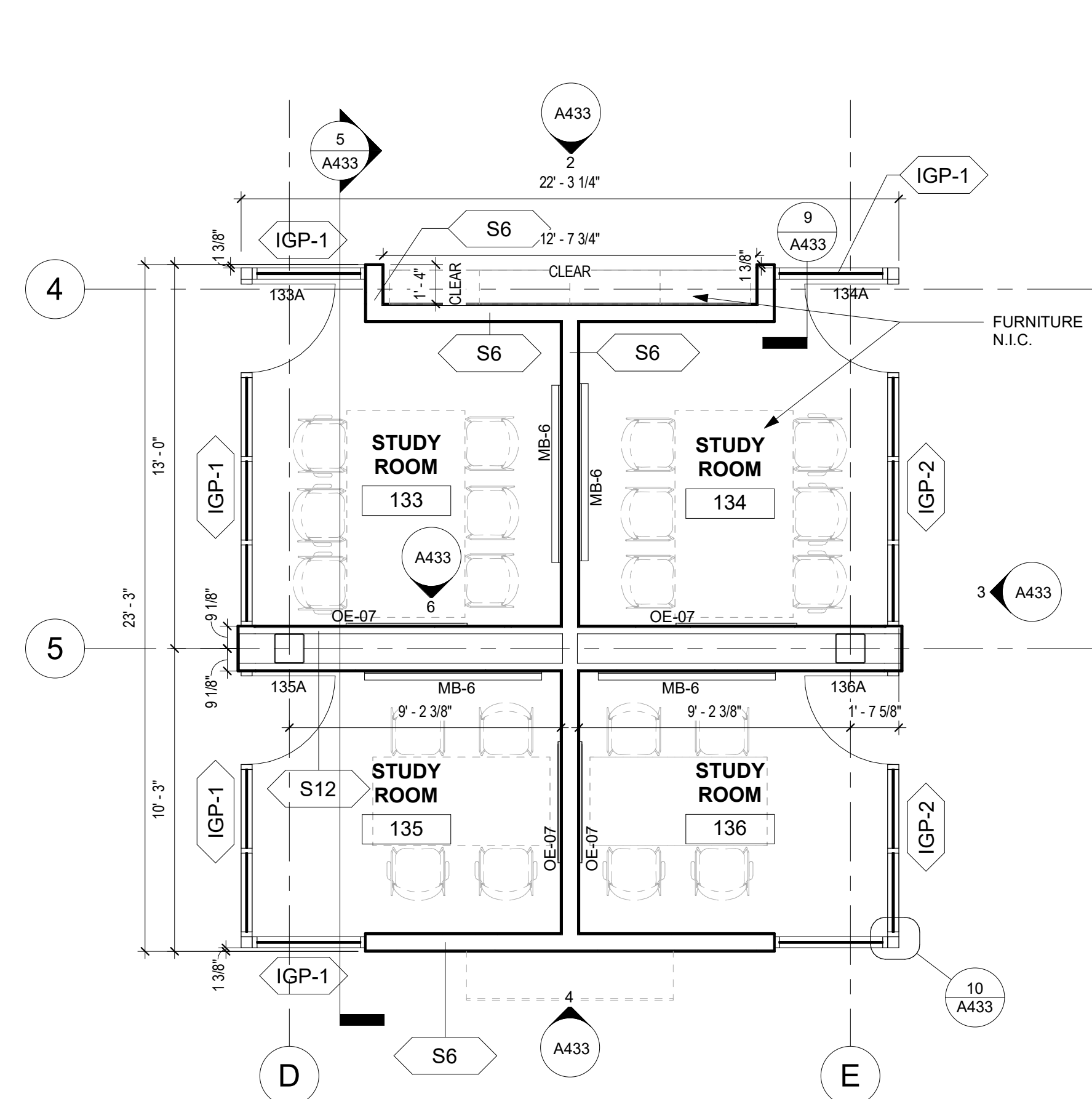
1	9.6.23	ADDENDUM 04
No.	Date	Description
PROJECT MANAGER:	SW	DRAWN BY: AT

QEA No. 42137020

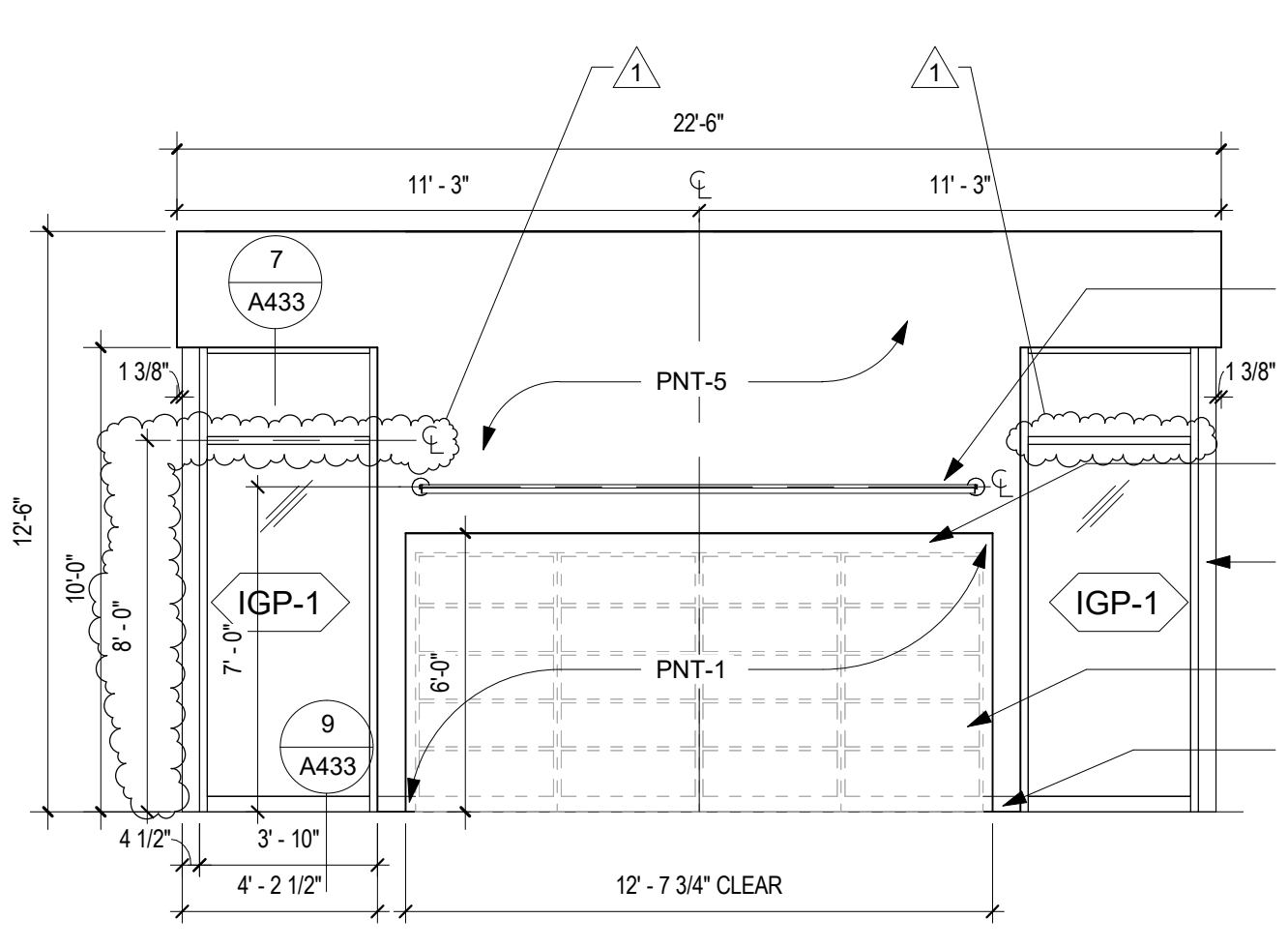
100% CONSTRUCTION
DOCUMENTS
08/01/23

ENLARGED PLANS &
ELEVATIONS

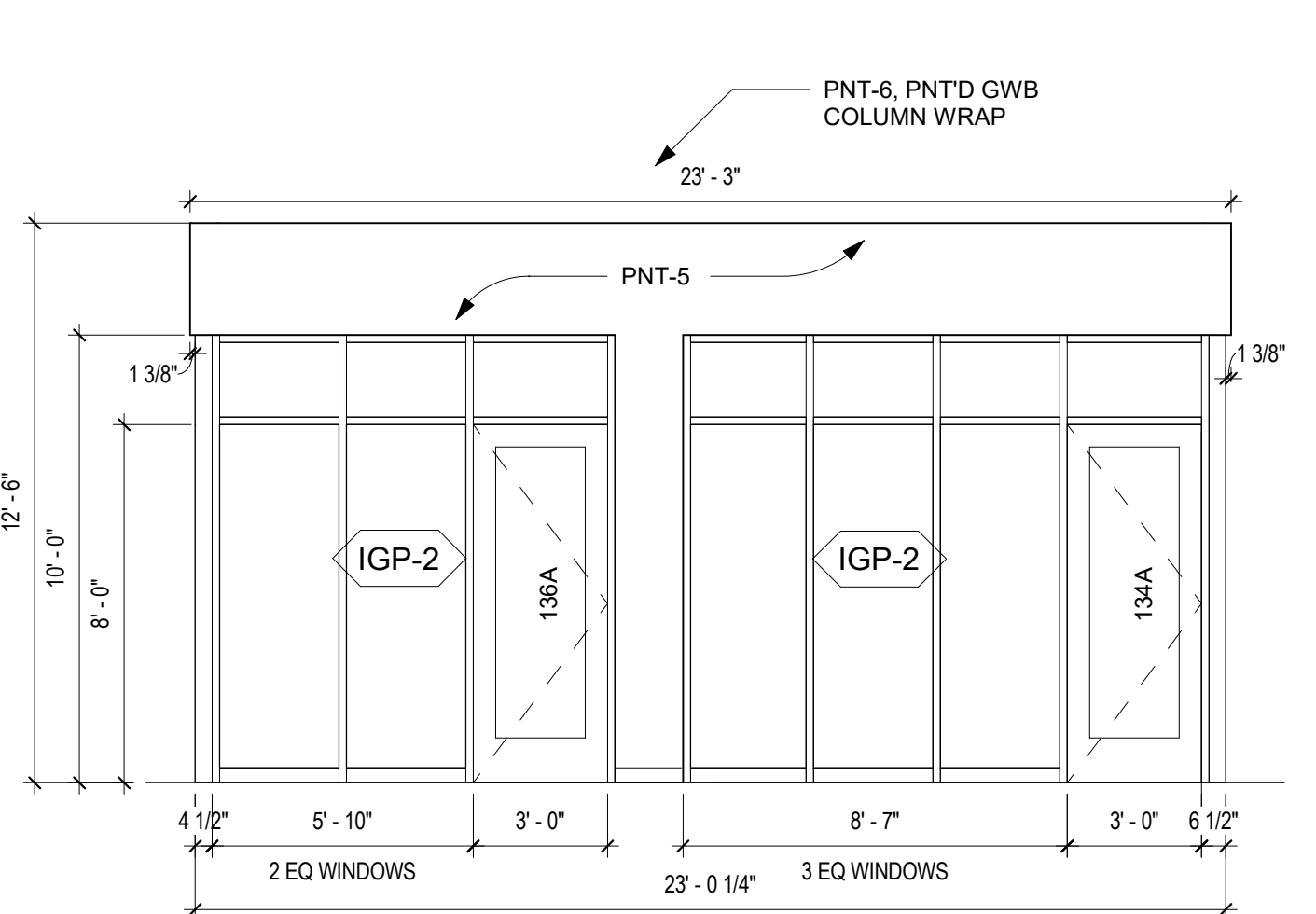
A433



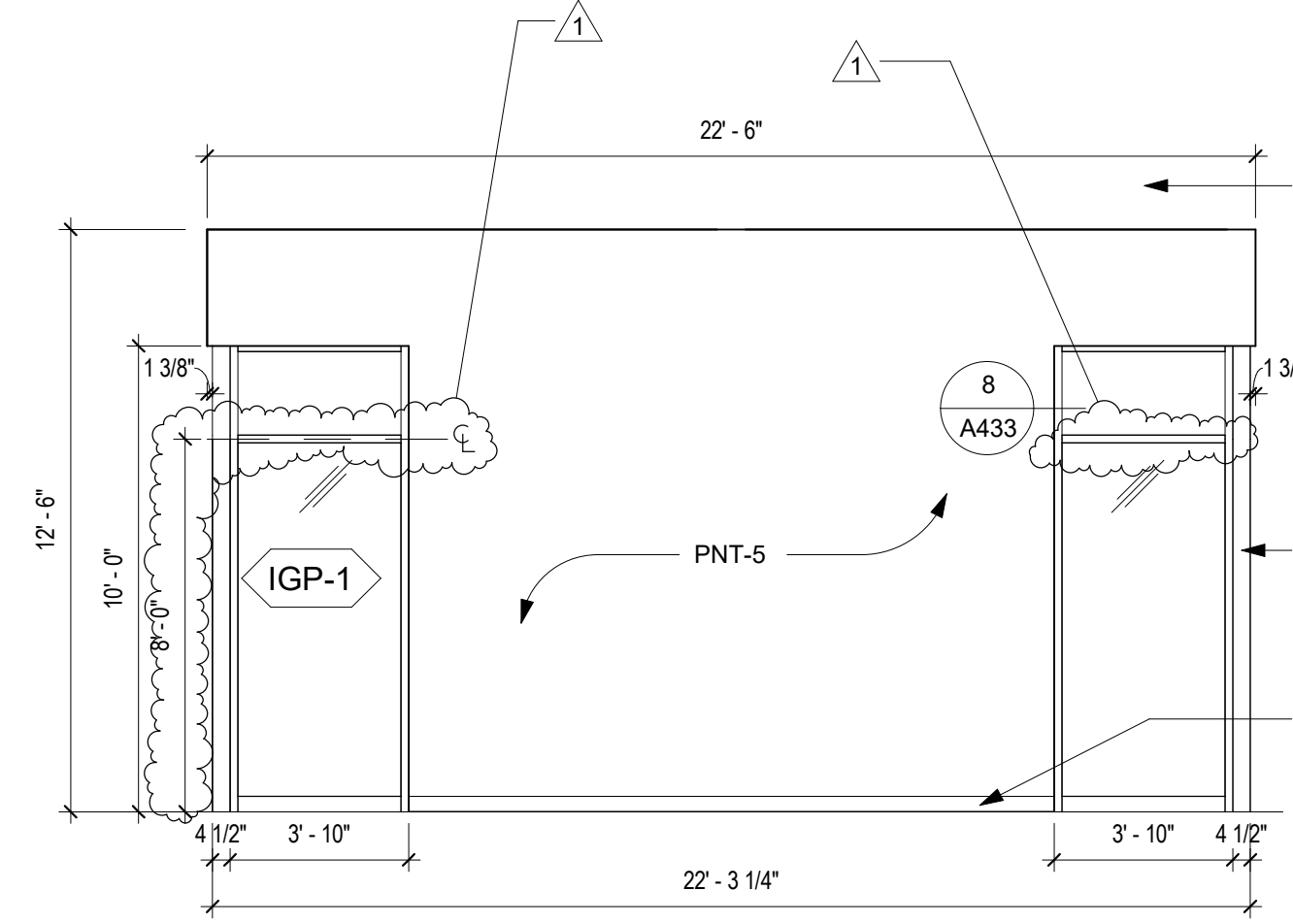
1 STUDY ROOMS ENLARGED PLAN
A433 1/4" = 1'-0" REFERRED FROM A101



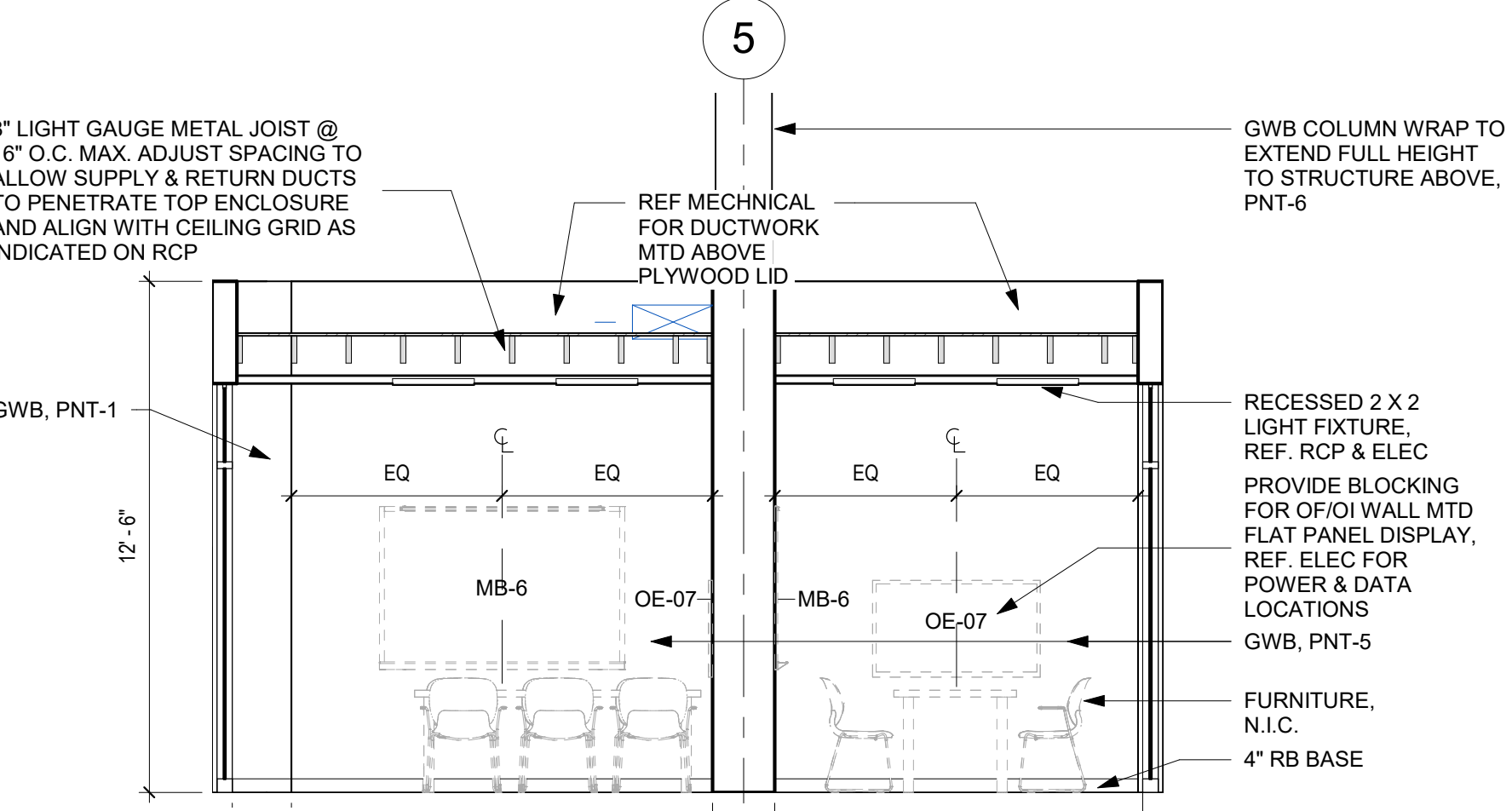
2 PERIODICALS SOUTH ELEVATION
A433 1/4" = 1'-0" REFERRED FROM A433



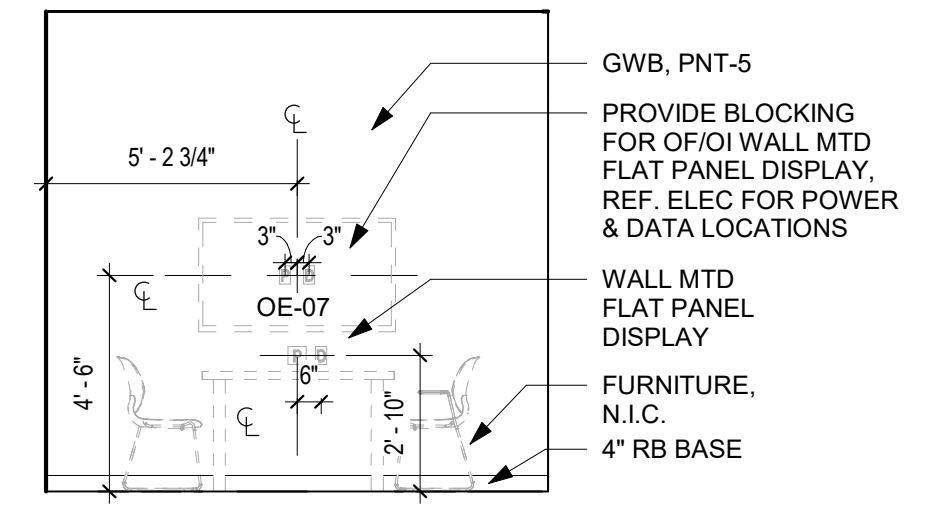
3 STUDY ROOM POD EAST ELEVATION
A433 1/4" = 1'-0" REFERRED FROM A433



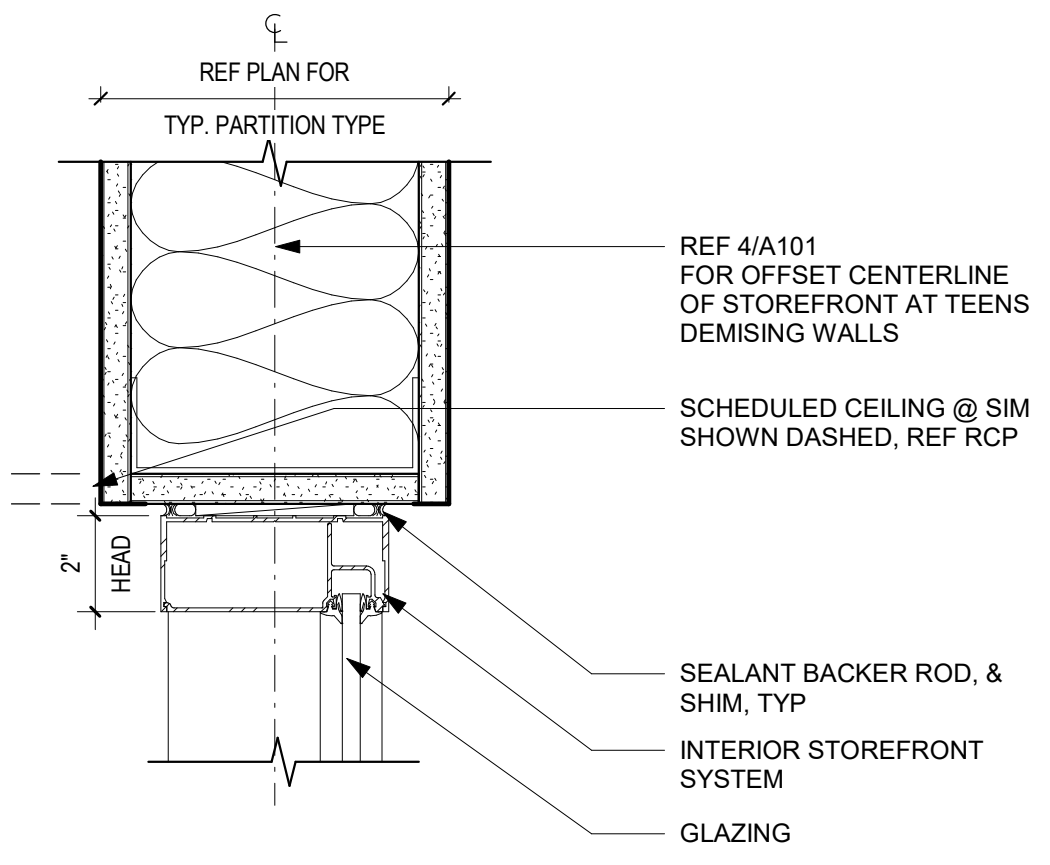
4 STUDY ROOM POD SOUTH ELEVATION
A433 1/4" = 1'-0" REFERRED FROM A433



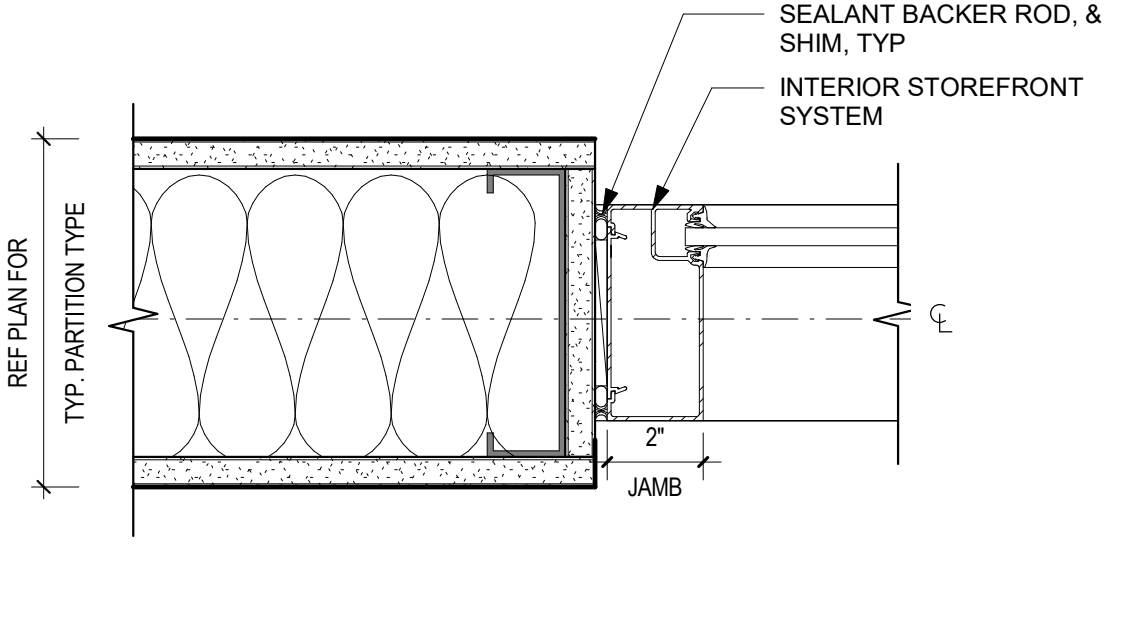
5 STUDY ROOM INTERIOR SECTION
A433 1/4" = 1'-0" REFERRED FROM A433



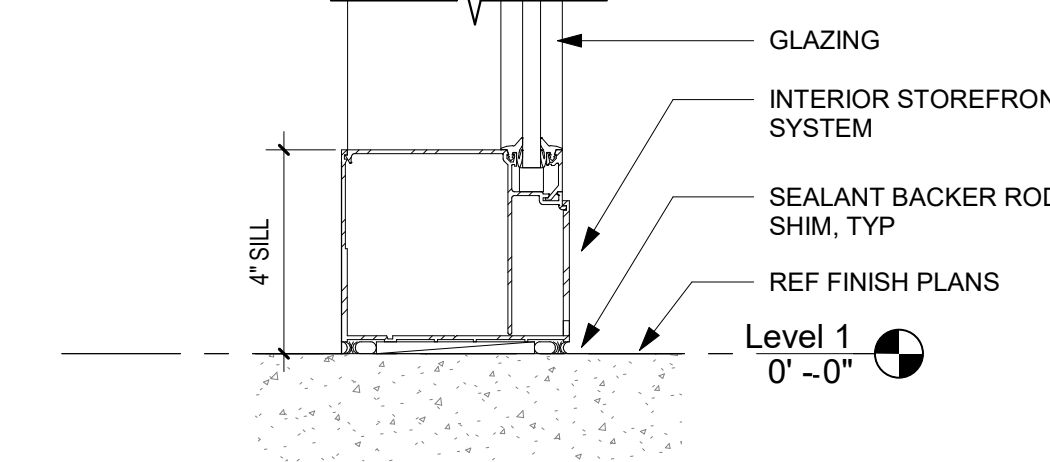
6 STUDY ROOM - TYP. DISPLAY WALL
A433 1/4" = 1'-0" REFERRED FROM A433



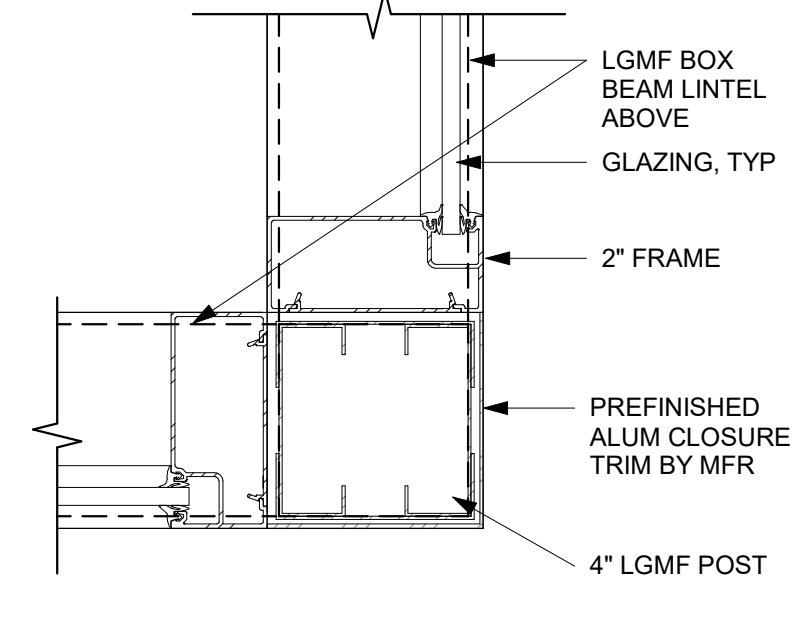
7 INT SF HEAD TYP
A433 3" = 1'-0" REFERRED FROM A431



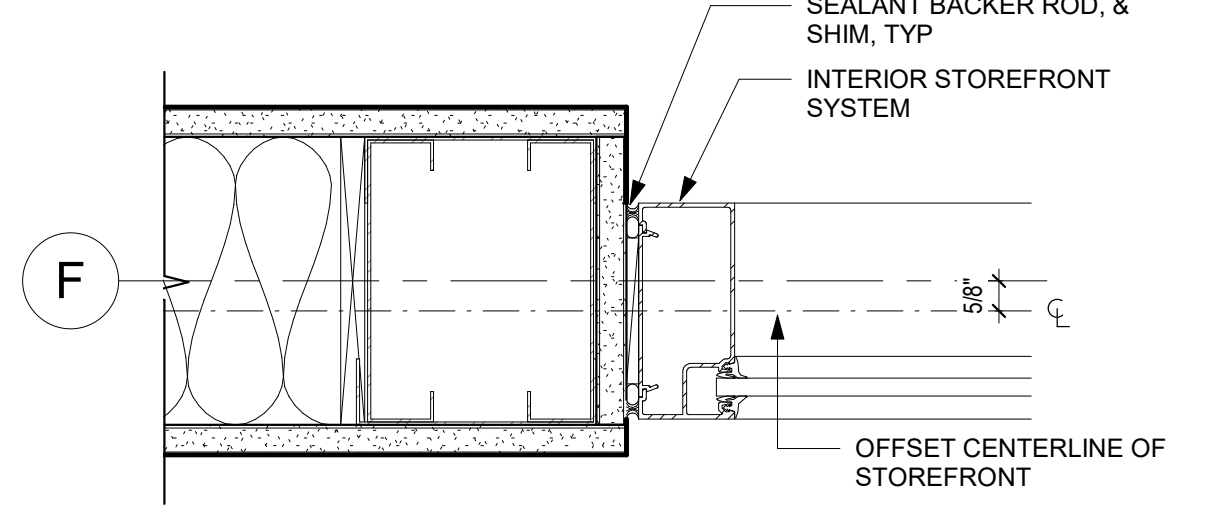
8 INT SF JAMB TYP
A433 3" = 1'-0" REFERRED FROM A433



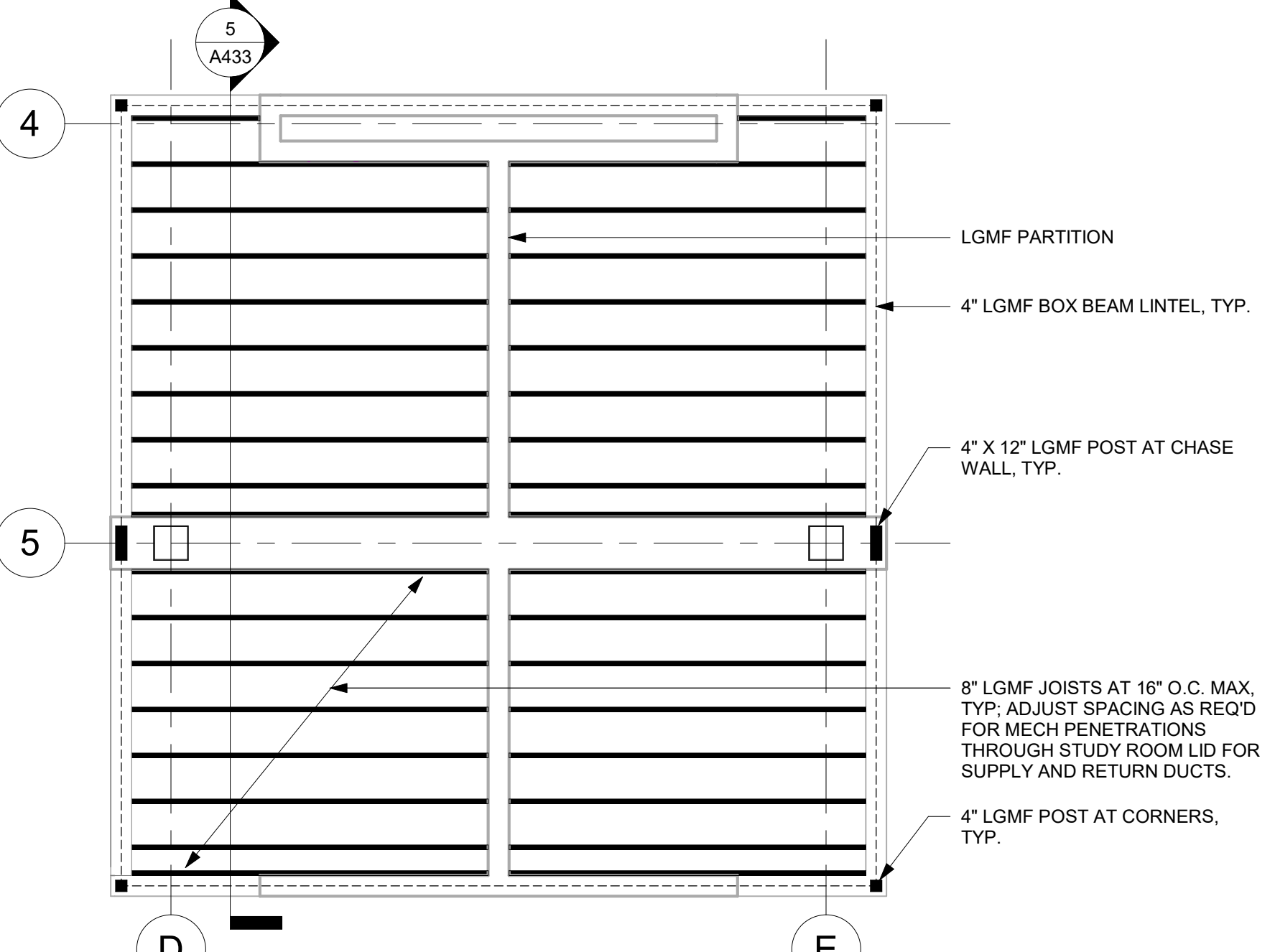
9 INT SF TYP SILL
A433 3" = 1'-0" REFERRED FROM A433



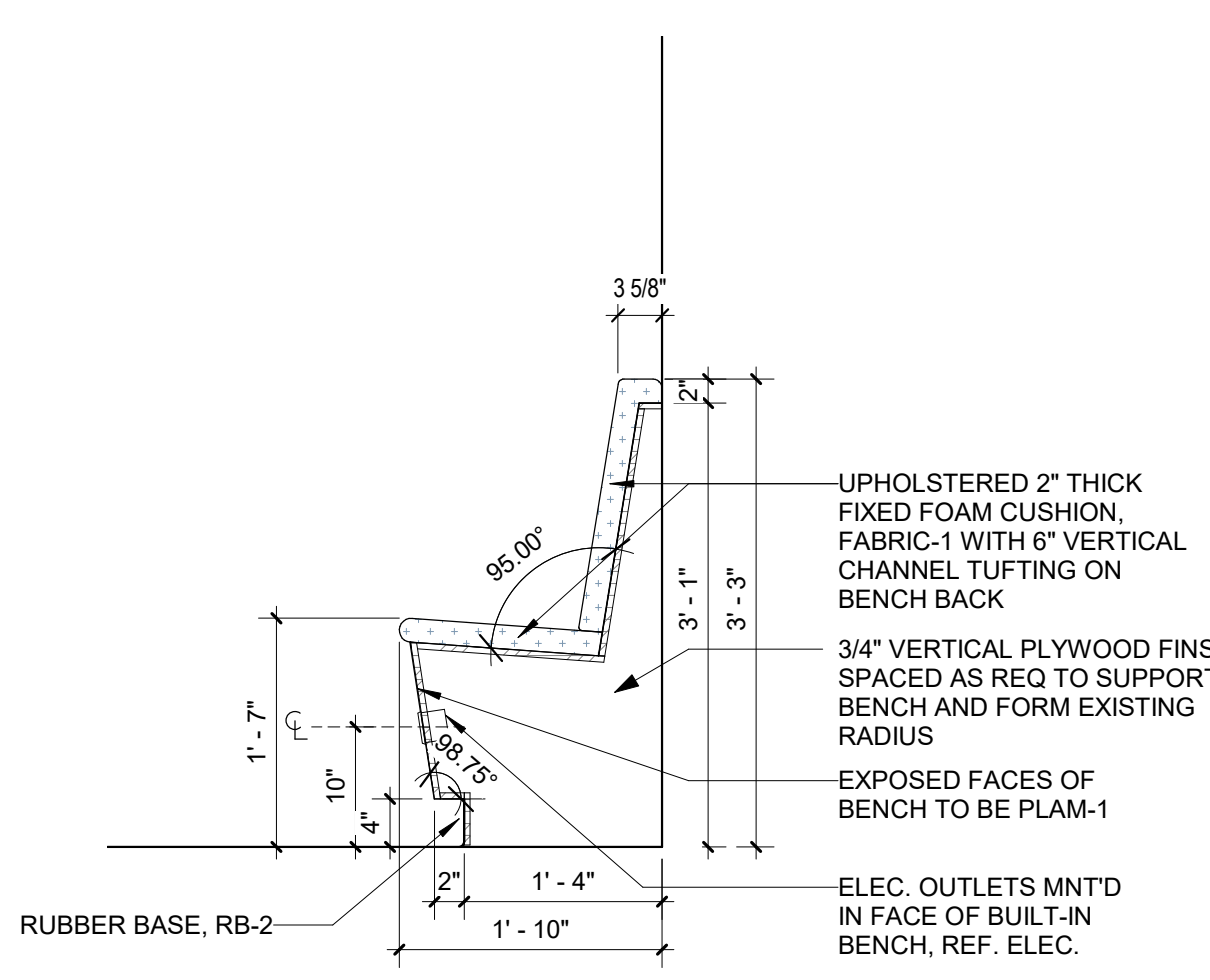
10 INT SF JAMB @ CORNER
A433 3" = 1'-0" REFERRED FROM A433



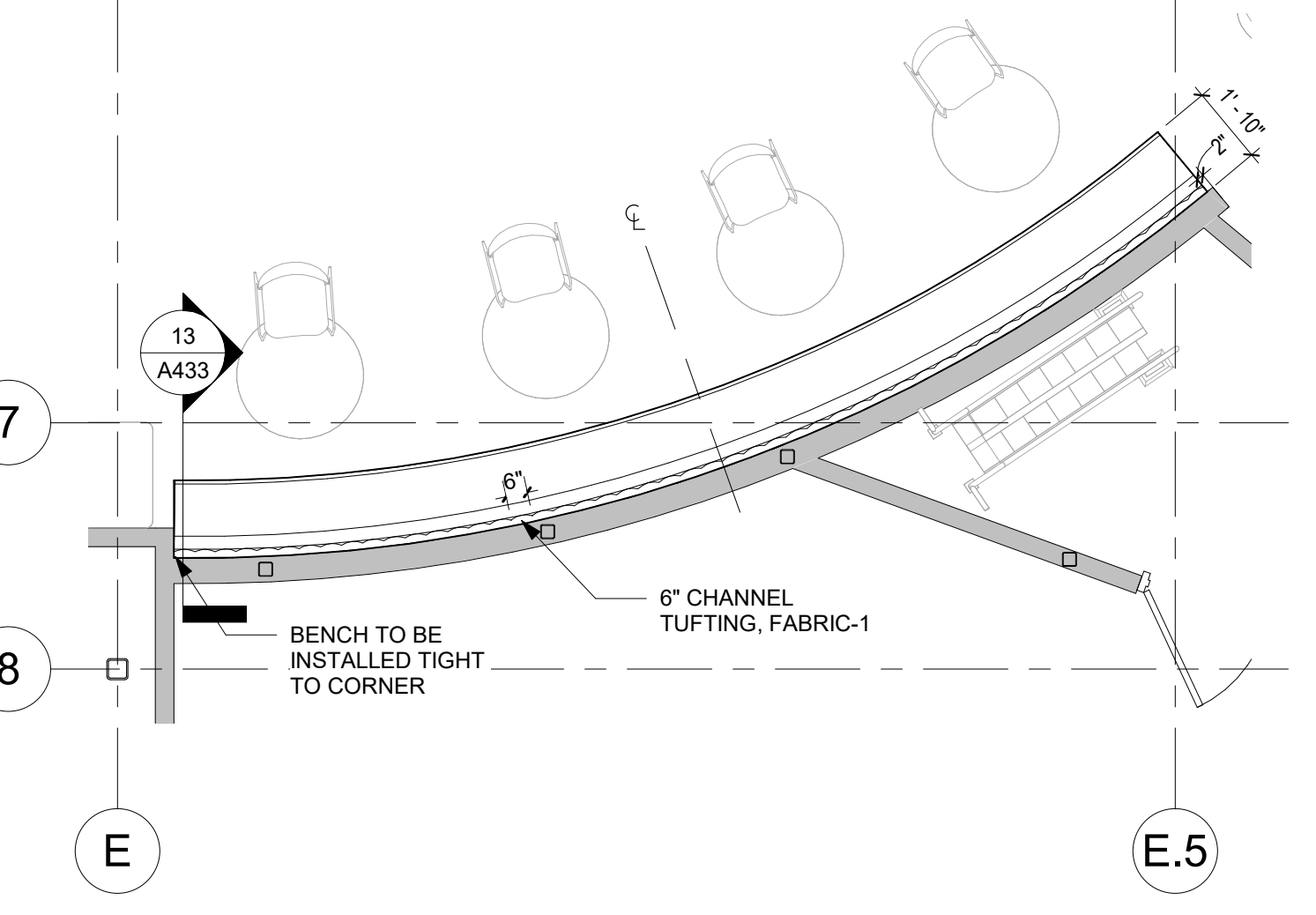
11 INT SF JAMB W/ OFFSET CENTERLINE
A433 3" = 1'-0" REFERRED FROM A431



12 STUDY ROOM FRAMING PLAN
A433 1/4" = 1'-0" REFERRED FROM A121



13 CAFE BENCH SECTION
A433 3/4" = 1'-0" REFERRED FROM A431



14 PLAN DETAIL @ CAFE BENCH
A433 1/4" = 1'-0" REFERRED FROM A101

PATH: FILENAME: Autodesk Docs\Perryville Branch Library\42137020_Perryville Branch Library_R22.dwg
 PLOTTING DATE & TIME: 09/26/23 12:47:07 PM



"I certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland, License No. 20513, Expiration Date 07/17/24."

client logo goes here:

**PERRYVILLE BRANCH
LIBRARY RENOVATION**

**CECIL COUNTY PUBLIC
LIBRARY**

500 COUDON BLVD
PERRYVILLE, MD 21903

04	09/06/23	Addendum 04
02	08/22/23	Addendum 02

No.	Date	Description
PROJECT MANAGER:	JMW	TAN
DRAWN BY:		

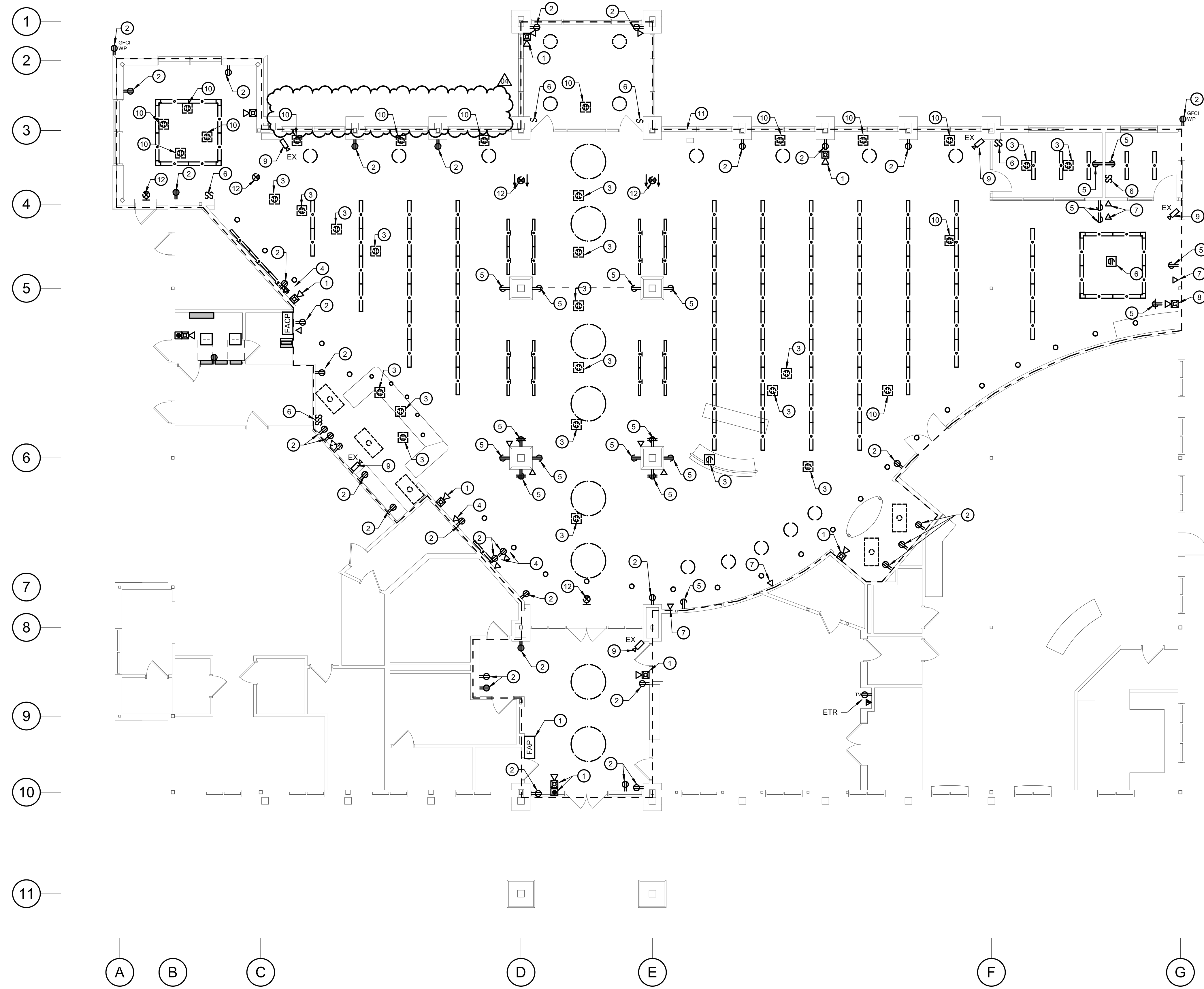
QEA No. 42137020

100% CONSTRUCTION
DOCUMENTS
08/01/23

LEVEL 1 PLAN
ELECTRICAL
DEMOLITION

ED101

BKM#22240.01



1 LEVEL 1 PLAN - ELECTRICAL - DEMOLITION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- REFER TO E001 FOR ELECTRICAL LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- UNLESS NOTED OTHERWISE, ELECTRICAL ITEMS SHOWN HEAVY DASHED (---) SHALL BE REMOVED. ELECTRICAL ITEMS SHOWN HEAVY SOLID (—) SHALL BE NEW AND ELECTRICAL ITEMS SHOWN LIGHT SOLID (---) SHALL BE EXISTING TO REMAIN.

DRAWING NOTES:

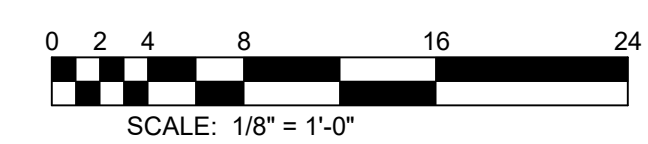
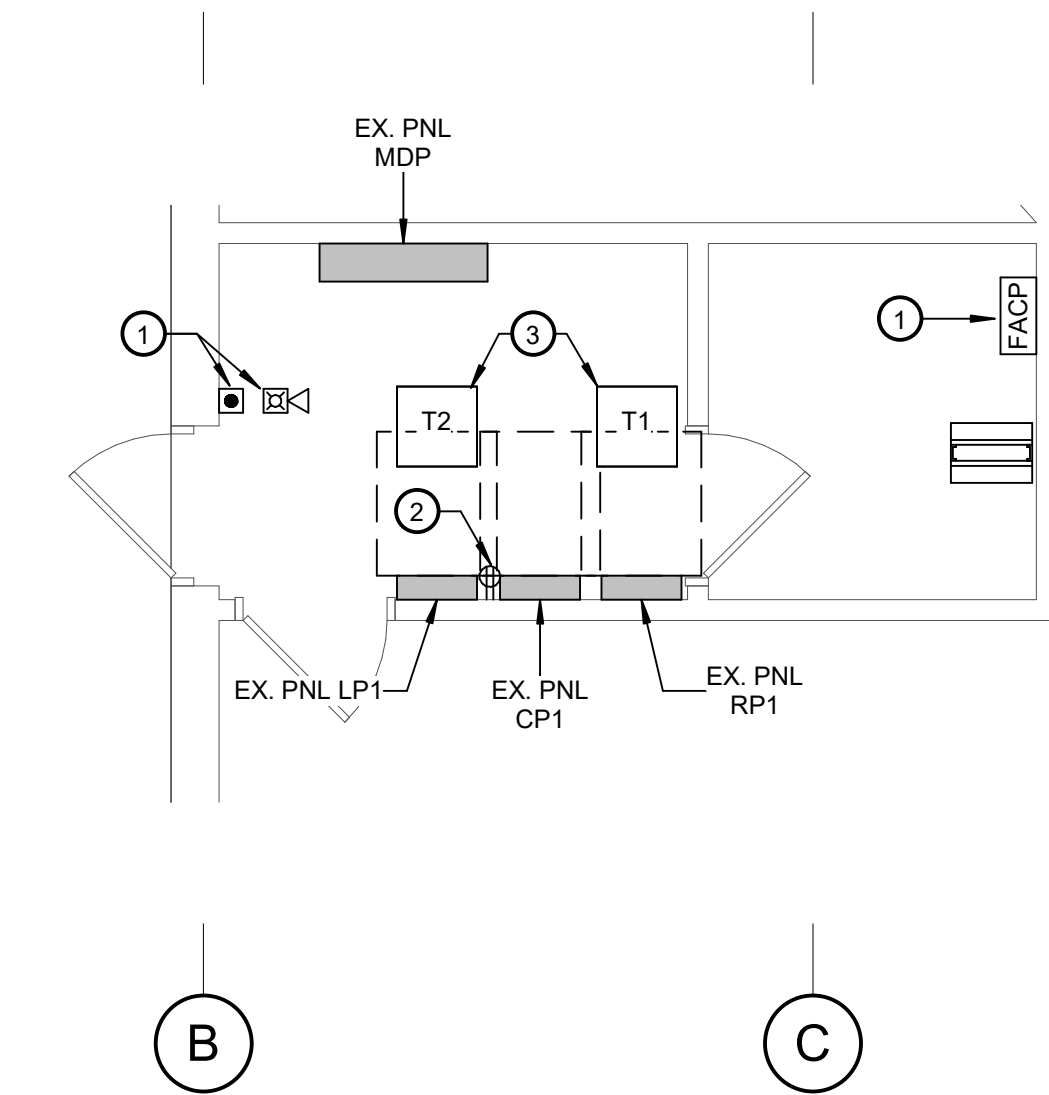
- FIRE ALARM DEVICE EXISTING TO REMAIN.
- RECEPTACLE EXISTING TO REMAIN.
- REMOVE EXISTING FLOOR BOX.
- DATA OUTLET EXISTING TO REMAIN.
- REMOVE EXISTING RECEPTACLE.
- REMOVE EXISTING LIGHTING CONTROLS.
- REMOVE EXISTING DATA OUTLET.
- REMOVE EXISTING FIRE ALARM DEVICE.
- REMOVE EXISTING SECURITY DEVICE.
- REMOVE EXISTING FLOOR BOX. PROTECT EXISTING WIRING AND CONDUIT FOR RECONNECTION TO NEW FLOOR BOX. REFER TO NEW WORK PLAN SHEET E101.
- U.O.N ALL LIGHT FIXTURE WITHIN THE PROJECT AREA ARE TO BE REMOVED, ALONG WITH ALL ASSOCIATED WIRING, BACK TO SOURCE.
- REMOVE, PROTECT AND RELOCATE EXISTING LIGHT FIXTURE TO BE REINSTALLED AS PART OF NEW WORK.

2 LEVEL 1 PART PLAN - ELECTRICAL ROOM - DEMOLITION

SCALE: 1/4" = 1'-0"

DRAWING NOTES:

- FIRE ALARM DEVICE EXISTING TO REMAIN.
- RECEPTACLE EXISTING TO REMAIN.
- TRANSFORMER EXISTING TO REMAIN.



SECTION 084113 - ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section Includes:

1. Interior storefront frames and doors.
2. Storefront accessories.
3. Trim and accessories at storefront perimeters.

B. Related Sections:

1. Division 07 Section "Joint Sealants" for installation of joint sealants installed with storefront systems and for sealants to the extent not specified in this Section.
2. Division 08 Section "Glazing" for glazing units.

1.3 DEFINITIONS

- A. ADA/ABA Accessibility Guidelines: U.S. Architectural & Transportation Barriers Compliance Board's "Americans with Disability Act (ADA) and Architectural Barriers Act (ABA) Accessibility Guidelines for Buildings and Facilities."

1.4 PERFORMANCE REQUIREMENTS

- A. General Performance: Aluminum-framed systems shall withstand the effects of the following performance requirements without exceeding performance criteria or failure due to defective manufacture, fabrication, installation, or other defects in construction:

1. Movements of supporting structure indicated on Drawings including, but not limited to, story drift and deflection from uniformly distributed and concentrated live loads.
2. Dimensional tolerances of building frame and other adjacent construction.
3. Failure includes the following:
 - a. Deflection exceeding specified limits.
 - b. Framing members transferring stresses to glazing.
 - c. Noise or vibration created by thermal and structural movements.
 - d. Loosening or weakening of fasteners, attachments, and other components.
 - e. Sealant failure.
 - f. Failure of operating units.

1.5 SUBMITTALS

- A. Product Data: For each type of product indicated. Include construction details, material descriptions, dimensions of individual components and profiles, and finishes for aluminum-framed systems.
- B. Shop Drawings: For aluminum-framed systems. Include plans, elevations, sections, details, and attachments to other work.
 - 1. Layout and installation details, including relationships to adjacent work.
 - 2. Elevations at 1/4 inch scale.
 - 3. Detail sections of typical composite members.
 - 4. Anchors and reinforcement.
 - 5. Provisions for expansion and contraction.
 - 6. Glazing details.
 - 7. Hardware mounting heights and preparation for hardware equipment items.
- C. Samples for Initial Selection: For units with factory-applied color finishes.
- D. Product Test Reports: Based on evaluation of comprehensive tests performed by a qualified testing agency, for aluminum-framed systems, indicating compliance with performance requirements.
- E. Maintenance Data: For aluminum-framed systems to include in maintenance manuals.
- F. Warranties: Sample of special warranties.

1.6 QUALITY ASSURANCE

- A. Installer Qualifications: Manufacturer's authorized representative who is trained and approved for installation of units required for this Project.
- B. Engineering Responsibility: Prepare data for aluminum-framed systems, including Shop Drawings, based on testing and engineering analysis of manufacturer's standard units in systems similar to those indicated for this Project.
- C. Product Options: Information on Drawings and in Specifications establishes requirements for systems' aesthetic effects and performance characteristics. Aesthetic effects are indicated by dimensions, arrangements, alignment, and profiles of components and assemblies as they relate to sightlines, to one another, and to adjoining construction. Performance characteristics are indicated by criteria subject to verification by one or more methods including preconstruction testing, field testing, and in-service performance.
 - 1. Do not revise intended aesthetic effects, as judged solely by Architect, except with Architect's approval. If revisions are proposed, submit comprehensive explanatory data to Architect for review.
- D. Accessible Entrances: Comply with applicable provisions in the U.S. Architectural & Transportation Barriers Compliance Board's ADA-ABA Accessibility Guidelines.
- E. Source Limitations for Aluminum-Framed Systems: Obtain from single source from single manufacturer.
- F. Welding Qualifications: Qualify procedures and personnel according to AWS D1.2, "Structural Welding Code - Aluminum."

1.7 PROJECT CONDITIONS

- A. Field Measurements: Verify actual locations of structural supports for aluminum-framed systems by field measurements before fabrication and indicate measurements on Shop Drawings.

1.8 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of aluminum-framed systems that do not comply with requirements or that fail in materials or workmanship within specified warranty period.

1. Failures include, but are not limited to, the following:

- a. Structural failures including, but not limited to, excessive deflection.
- b. Noise or vibration caused by thermal movements.
- c. Deterioration of metals, metal finishes, and other materials beyond normal weathering.
- d. Water leakage through fixed glazing and framing areas.
- e. Failure of operating components.

2. Warranty Period: Ten years from date of Substantial Completion.

- B. Special Finish Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components on which finishes do not comply with requirements or that fail in materials or workmanship within specified warranty period. Warranty does not include normal weathering.

1. Warranty Period: Five years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Basis-of-Design Product: Subject to compliance with requirements, provide:

- 1. Kawneer Trifab Versaglaze 450 - 2" x 4 1/2" non-thermal storefront framing at interior locations to match existing aluminum storefront system.
- 2. Or comparable product by one of the following:
 - a. EFCO Corporation.
 - b. United States Aluminum.
 - c. YKK AP America Inc.

2.2 MATERIALS

- A. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.

- 1. Sheet and Plate: ASTM B 209.
- 2. Extruded Bars, Rods, Profiles, and Tubes: ASTM B 221 .

3. Extruded Structural Pipe and Tubes: ASTM B 429.
4. Structural Profiles: ASTM B 308/B 308M.

2.3 FRAMING SYSTEMS

- A. Framing Members: Manufacturer's extruded-aluminum framing members of thickness required and reinforced as required to support imposed loads.
 1. Glazing System: Retained mechanically with gaskets on four sides.
 2. Glazing Plane:
 - a. Non-thermal storefront at interior locations: Center.
- B. Brackets and Reinforcements: Manufacturer's standard high-strength aluminum with nonstaining, nonferrous shims for aligning system components.
- C. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, nonstaining, nonbleeding fasteners and accessories compatible with adjacent materials.
 1. Reinforce members as required to receive fastener threads.
 2. Use exposed fasteners with countersunk Phillips screw heads, finished to match framing system.
- D. Framing System Gaskets and Sealants: Manufacturer's standard, recommended by manufacturer for joint type.

2.4 GLAZING SYSTEMS

- A. Glazing: As specified in Division 08 Section "Glazing."
- B. Glazing Gaskets: Manufacturer's standard compression types; replaceable, molded or extruded, of profile and hardness required to maintain watertight seal.
- C. Spacers and Setting Blocks: Manufacturer's standard elastomeric type.
- D. Glazing Sealants: For structural-sealant-glazed systems, as recommended by manufacturer for joint type, and as follows:
 1. Weatherseal Sealant: ASTM C 920 for Type S, Grade NS, Class 25, Uses NT, G, A, and O; single-component neutral-curing formulation that is compatible with structural sealant and other system components with which it comes in contact; recommended by structural-sealant, weatherseal-sealant, and aluminum-framed-system manufacturers for this use.

2.5 ACCESSORY MATERIALS

- A. Joint Sealants: For installation at perimeter of aluminum-framed systems, as specified in Division 07 Section "Joint Sealants."
- B. Provide break metal closures finished to match the storefront at column enclosures and all other locations as indicated in the Drawings, with thickness as recommended by the manufacturer for each specific application, but no less than 0.093".

2.6 FABRICATION

- A. Form or extrude aluminum shapes before finishing.
- B. Weld in concealed locations to greatest extent possible to minimize distortion or discoloration of finish. Remove weld spatter and welding oxides from exposed surfaces by descaling or grinding.
- C. Framing Members, General: Fabricate components that, when assembled, have the following characteristics:
 - 1. Profiles that are sharp, straight, and free of defects or deformations.
 - 2. Accurately fitted joints with ends coped or mitered.
 - 3. Physical and thermal isolation of glazing from framing members.
 - 4. Accommodations for thermal and mechanical movements of glazing and framing to maintain required glazing edge clearances.
 - 5. Provisions for field replacement of glazing from interior.
 - 6. Fasteners, anchors, and connection devices that are concealed from view to greatest extent possible.
- D. Mechanically Glazed Framing Members: Fabricate for flush glazing without projecting stops.
- E. Storefront Framing: Fabricate components for assembly using screw-spline system.
 - 1. Provide metal end caps and frame closure accessories to provide a continuous and solid surface for adhering perimeter sealants and preformed silicon transition membranes as shown in the drawings.
- F. After fabrication, clearly mark components to identify their locations in Project according to Shop Drawings.

2.7 ALUMINUM FINISHES

- ~~1. Finish: High-Performance Organic Finish: Two-coat Mica fluoropolymer finish complying with AAMA 2605 and containing not less than 50 percent PVDF resin by weight in color-coat. Prepare, pretreat, and apply coating to exposed metal surfaces to comply with coating and resin manufacturers' written instructions.~~
- 2.1. ~~Color: Kawneer Clear Anodic #14 Architectural Class I~~ coating in color and finish to match existing storefront frames.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine areas and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

A. General:

1. Comply with manufacturer's written instructions.
2. Do not install damaged components.
3. Fit joints to produce hairline joints free of burrs and distortion.
4. Rigidly secure nonmovement joints.
5. Install anchors with separators and isolators to prevent metal corrosion and electrolytic deterioration.
6. Ensure all perimeter flashings and closures are installed as required by the drawings and approved shop drawings.
7. Seal joints watertight unless otherwise indicated.

B. Install components plumb and true in alignment with established lines and grades, and without warp or rack.

C. Install glazing as specified in Division 08 Section "Glazing."

D. Install perimeter joint sealants as specified in Division 07 Section "Joint Sealants" to produce weathertight installation at exterior Storefront systems.

3.3 ERECTION TOLERANCES

A. Install aluminum-framed systems to comply with the following maximum erection tolerances:

1. Location and Plane: Limit variation from true location and plane to 1/8 inch in 12 feet ; 1/4 inch over total length.
2. Alignment:
 - a. Where surfaces abut in line, limit offset from true alignment to 1/16 inch .
 - b. Where surfaces meet at corners, limit offset from true alignment to 1/32 inch .

B. Diagonal Measurements: Limit difference between diagonal measurements to 1/8 inch ..

3.4 ADJUSTING

A. Adjust door hardware to function smoothly as recommended by manufacturer.

1. For doors, adjust closers to provide a 3-second closer sweep period for doors to move from a 70-degree open position to 3 inches from the latch, measured to the leading door edge.

END OF SECTION 084113